March 21, 2017

Regular Public Meeting
6:00 P.M.
2775 Garrison Avenue
Port St. Joe, Florida

City of Port St. Joe

Bo Patterson, Mayor-Commissioner
William Thursbay, Commissioner, Group I
David Ashbrook, Commissioner, Group II
Brett Lowry, Commissioner, Group III
Rex Buzzett, Commissioner, Group IV

[All persons are invited to attend these meetings. Any person who decides to appeal any decision made by the Commission with respect to any matter considered at said meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The Board of City Commission of the City of Port St. Joe, Florida will not provide a verbatim record of this meeting.]

BOARD OF CITY COMMISSION

Regular Public Meeting
6:00 P.M.
2775 Garrison Avenue
Tuesday March 21, 2017

Call to Order

Consent Agenda

Minutes
- **Regular Commission Meeting 3/7/17** — **Pages 1-4**

Proclamation
- **Veterans Appreciation Night/James Archibald Cox** — **Page 5**

PSJRA
- **Update**

City Attorney
- **Chad Mack v/s City of Port St. Joe- Update**

Planning Board Recommendations
- **Development Order Request- 325 Long Ave, Jason Shoaf** — **Pages 6-27**

Old Business
- **Utility Billing Deposit- Comm. Buzzett** — **Page 28**
- **Boat Ramp Fees- Dr. May**
- **Utility Billing Write-Off Policy- Comm. Thursbay**

New Business
- **Utility Bill- Warren Wall**
- **Duke Energy LED Lighting Plan Proposal** — **Page 29**
- **4th of July Fireworks Display**
- **Administrative Leave Policy** — **Page 30**
- **Ave D Sidewalks- Comm. Thursbay**
- **3 Way Stop at Oak Grove Ave. & Cabel- Comm. Buzzett**
- **Proposed Short Term Rental Legislation- Comm. Ashbrook** — **Pages 31-32**

Public Works
- **RFP 2017-02 High School Lift Station (Handout)**

Surface Water Plant
- **Update**

Waste Water Plant
- **Update**

City Engineer
- **Projects Update**

- Frank Pate Park Boat Ramp Improvements
- Long Avenue
- Jones Homestead Sewer

Code Enforcement

- **Demolition Project- Update**
- **General Update** **Page 33**

Police Department

- **Update**

City Clerk

- **DES of Florida, LLC Contract**

Citizens to be Heard
Discussion Items by Commissioners
Motion to Adjourn

MINUTES OF THE REGULAR MEETING OF THE BOARD OF CITY COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT 2775 GARRISON AVENUE, March 7, 2017, AT 6:00 P.M.

The following were present: Mayor Patterson, Commissioners Buzzett, Lowry, and Thursbay. City Manager Jim Anderson and Attorney Clinton McCahill were also present. Commissioner Ashbrook was absent due to work related issues and City Clerk Charlotte Pierce was absent due to the death of her mother, Sara D. Maddox.

CONSENT AGENDA

Minutes

A Motion was made by Commissioner Buzzett, second by Commissioner Thursbay, to approve the Minutes of the Regular Meeting on February 21, 2017, and the Workshop Meeting of February 24, 2017. All in favor; Motion carried 4-0.

PORT ST. JOE REDEVELOPMENT AGENCY (PSJRA)

Mr. Kennedy noted that the Lighthouse Renovation Project is currently out for bid and the bid will close on March 21, 2017.

North Port St. Joe Master Plan – The Port St. Joe Redevelopment Association voted 5-0 earlier to approve the new addendum to the Master Plan. A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to approve the Master Plan. All in favor; Motion carried 4-0.

Sara Hinds, of the Gulf County Health Department, presented the City Commission a Healthy Weight Community Champion Award for 2017.

CITY ATTORNEY –

Chad Mack vs. City of Port St. Joe, Update – Attorney McCahill shared that Oral Arguments will be held on March 14, 2017, at 2:30 P.M.

Ordinance 528 Boat Ramp Fees, Discussion –

Dr. Dusty May shared his thoughts on the Ordinance.

A Motion was made by Commissioner Buzzett, second by Commissioner Lowry, to have the First Reading of Ordinance 528 which will include all 8 beach front parcels rather than the five originally listed; stipulating that other parcels may be added or deleted at the discretion of the Board; any loan made cannot be more than 20% of the fund balance, any loan will be repayable within 5 years at 0% Interest. All in favor; Motion carried 4-0

Attorney McCahill read Ordinance 528.

Ordinance 530 Capital Improvement Plan Update - A Motion was made by Commissioner Buzzett, second by Commissioner Lowry, to have the First Public Hearing and First Reading of Ordinance 530. All in favor; Motion carried 4-0.

Letha Mathews asked that the purpose of the Capital Improvement Plan be explained. Commissioner Lowry noted it is the plan for the City over a 5 year period and is used in securing grants and funding.

Attorney McCahill read Ordinance 530.

Resolution 2017-03 Cross Connection Control Program – 1

Mr. Anderson shared that this is mandated by DEP and not something the City alone is requiring. Residential customers will be charged $50 for a backflow preventer to be installed on their meter and this should last for 5 – 10 years. Commercial customers will be inspected yearly. A letter will be sent to all residential and commercial customers explaining this requirement.

A Motion was made by Commissioner Thursbay, second by Commissioner Buzzett, to adopt Resolution 2017-03. All in favor; Motion carried 4-0.

CITY MANAGER'S REPORT – Jim Anderson

Old Business

Pickle Ball Court, Discussion – A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, for the City to buy the paint and the County will stripe the Frank Pate Park Tennis Court. All in favor; Motion carried 4-0.

Gulf Coast Workforce Development Board Lease (GCWDB) – There were no changes made to the Lease approved at the February 21, 2017, Commission meeting.

PSJRA Membership – Commissioner Buzzett: A Motion was made by Commissioner Buzzett to have an all-Volunteer PSJRA Board with one City Commissioner on the Board. A second for discussion was made by Commissioner Lowry. After discussion, Commissioner Lowry withdrew his second and the Motion died for a lack of a second.

FRDAP Committee Membership – Mayor Patterson: The Mayor asked if anyone had a name to add to the FRDAP Committee. No names were submitted and after discussion, it was determined there should be a meeting of the FRDAP Committee. Members will be contacted concerning this.

New Business

Utility Bill Deposit – Commissioner Buzzett: It was suggested that Utility Bill Deposits be raised to $200. Staff was asked to call outlying cities to see what their deposits are before taking any action on this.

Drinking Water Fountain – Washington Gym Playground:

A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to replace the water fountain. All in favor; Motion carried 4-0. Funds from Parks and Recreation will be used for this purchase.

Write-Off Policy – Commissioner Thursbay:

After a lengthy discussion and various speakers, a Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to put the old policy back in place. Motion carried 3-1 with Commissioner Buzzett voting no.

Commerce Park Lot Utilities (Handout) –

A Motion was made by Commissioner Buzzett, second by Commissioner Thursbay, to relocate the utilities on the City lot to the front of the park. Motion carried 3-1 with Commissioner Lowry voting no. Funds from the Wastewater Trust Fund will be used for this.

Public Works – John Grantland was absent and there was no report from Public Works

Surface Water Plant – Larry McClamma shared the Water Quality Report has been received and there were no violations of the primary water quality standards in 2016. The City of Port St. Joe is in compliance with the State of Florida DEP regulations.

Wastewater Plant – Kevin Pettis noted the plant is running as it should.

City Engineer – Clay Smallwood, III

Project Updates -

Frank Pate Park Boat Ramp Improvements – The contractor's schedule was received today and he will be reviewing it with them. Work will begin the first of April and there will be a 5 week closure of the ramp. One side should be opened by Memorial Week. A notice will be placed in the Star and on the City's website announcing the dates of closure.

Long Avenue – The project design is almost completed.

Jones Homestead Sewer – A Motion was made by Commissioner Thursbay, second by Commissioner Buzzett, for Dewberry / Preble Rish to begin the Task Order. All in favor; Motion carried 4-0.

Beginning March 20, 2017, Stormwater Pipe replacement on the Industrial Road will start. The work will require the road to be closed and notice of the closure will be made public.

Code Enforcement –

Demolition Project, Update – There are three houses ready for demolition. A request has been made for the Sims Home to be removed from the demolition list.

Police Department – Chief Matt Herring shared his department will be available to do security checks on homes while citizens are away for Spring Break if they will notify the department of the dates they will be gone.

The Family Day held on March 4th was a great success. Approximately 450 people participated in the event.

City Clerk – Charlotte Pierce

Mayor Patterson noted the absence of Mrs. Pierce was due to the death of her mother and asked that citizens keep the Maddox Family in their thoughts and prayers.

Citizens to be Heard –

Dr. Dusty May suggested an ad be placed in the paper noting new stickers will have to be obtained for the boat ramp. He also asked that he be allowed to begin the design of a new sign for the boat ramp. He will work with Mike Lacour on these issues.

Amy Rogers inquired about the status of a memorial plaque for Alton Fennell; she will work with Staff on a location to place the sign. Mrs. Rogers also asked about nets for the Peters Park Tennis Court; the possibility of another fountain at the park, and sidewalks for Avenue D. She pointed out that the light at Avenue C and MLK is still out and wanted to know if any arrangements have been made for Duke Energy customers to pay their bill locally.

Chester Davis shared their associational meeting went very well this past weekend and noted there is only one ladies restroom at the Washington Gym. He asked if something could be done to increase the number as it had been pointed out to him it was not sufficient when there are a large number of ladies in attendance. Mr. Davis apologized that the chairs were not removed from the gym the night of the event as he was not aware children would be in the gym on Sunday afternoon. He also stated that he is willing to volunteer anywhere in town when needed.

Discussion Items by Commissioners

Commissioner Buzzett did not have anything to share. 3

Commissioner Lowry thanked Staff for removing the Mulley Grass.

Commissioner Ashbrook was absent.

Commissioner Thursbay offered his condolences to the Maddox Family and asked that citizens keep them in their thoughts and prayers.

Mayor Patterson read a Certificate of Appreciation to the City for their contributions to the MLK activities. He noted an issue with bolts on the middle section of the boat ramp that need attention. The Mayor is receiving complaints about businesses that are placing tables on Reid Avenue as they are causing an obstruction of the side walk. He also noted an issue with cigarette butts and the obnoxious odor of cigarette smoke on Reid Avenue. Mayor Patterson noted the need to make sure the Washington Gym is cleaned up after events, and he recognized John Parker for his work with the Farmer's Market.

A Motion was made by Commissioner Thursbay, second by Commissioner Lowry, to adjourn the Meeting at 7:38 P.M.

Approved this _____ day of _____ 2017.

_____ _____
James "Bo" Patterson, Mayor Date

_____ _____
James A. Anderson for Date
Charlotte M. Pierce, City Clerk

Office of the Mayor

City of Port St. Joe, Florida

Proclamation

Whereas, Port St. Joe High School's Tiger Shark Baseball Team will host the Blountstown Tigers on Tuesday, 21 March 2017, in a baseball double-header, with game times of 4:30 & 7:00 ET.

Whereas, Superintendent Jim Norton, Gulf County School District, has scheduled plans to announce the school's latest inductee into the Port St. Joe High School Athletic Hall of Fame between the above-mentioned two games.

Whereas, Port St. Joe High School has announced that the games scheduled for 21 March 2017, shall be known collectively as "Veterans Appreciation Night," and admission for all Veterans shall be free gratis.

Whereas, James Archibald Cox, a 1967 graduate of Port St. Joe High School, and a stellar athlete for said school, has been selected as a nominee into the Athletic Hall of Fame.

Whereas, Mr. Cox, known by most simply as "Jimmy" served in the Vietnam Conflict as a respected Riverine in the United States Navy, also known as the "Brown Water Navy," with valor and with great personal cost and sacrifice.

Therefore, be it be hereby highly resolved, that the City of Port St. Joe, by the authority of its Mayor and City Commissioners, in unanimous consent, does designate this date to be now and forever known as "Veterans Appreciation Day," and "Jimmy Cox Appreciation Day."

Let it be hereby further resolved, that James Archibald Cox will be noted from this date forward, within the community of Port St. Joe, hereafter, as a member in good standing of the Port St. Joe High School Athletic Hall of Fame and a most favored son of our fair city.

In witness whereof I have hereunto set my hand and caused the seal of this city to be affixed

Mayor _____

Date _____

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Planning, Development, and Review Board Recommendations

On March 14, 2017, the following recommendation was made to the City Commission:

Development Order Request-Jason Shoaf, 325 Long Ave, Port St. Joe, FL 32456 Parcel #04747-000R

- After a question and answer period and Board members expressing their concerns, a Motion was made by Minnie Likely, second by Hal Keels to recommend to the City Commission approval of a Development Order for (2) 160' X 25' self-storage units as long as they are aesthetically pleasing. Voting in favor of the Motion were Chairman Rish, Board Members Travis Burge, Hal Keels, and Minnie Likely. Voting against granting the Development Order was Alice Martin. Motion carried 4-1. Board Members Earley and Campbell abstained from voting and completed Form 8.

Zone: C-1

CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED
(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. ✓ Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.
** Setbacks are measured from the closest overhang to property line**

A site plan showing any protected trees which will be removed from the property. (Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. ✓ Development Order Packet

3. ____ New Address application

4. ____ Complete City water meter impact form

5. ____ Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address 325 Long Avenue

Lot Square Footage: 25,500 Dwelling Square Footage: 4,000

Driveway Square Footage: — Accessory Building Square Footage: —

Pool Square Footage: — Patio/Deck Square Footage: —

Setbacks: Front: — Left Side: 10'

Rear: 10' Right Side: —

Floor Area Ratio: 100% Lot Coverage: 16%

Building Height in Feet: 10 Impervious Surface: 84%

Landscape Buffers: (height x width) _____ Elevation: 11'

JASON SHOAF
Applicant Name

Applicant Address

850-370-6019
Phone Number

Applicant Signature

1/6/17
Date

7

Gulf County Property Appraiser

Mitch Burke, CFA

Sales In Area | Previous Parcel | Next Parcel | Field Definitions | Return to Main Search | Gulf Home

Owner and Parcel Information

Owner Name	FUMBLES LLC	Today's Date	January 6, 2017
Mailing Address	PO BOX 772 PORT ST JOE, FL 32457	Parcel Number	04747-000R
Location Address	325 LONG AVE	Tax District	City of Port St Joe (District 5)
Property Usage	UTILITIES (009100)	2015 Millage Rates	18.3324
Section Township Range	1-8S-11W	Acreage	0
		Homestead	N

Show Parcel Maps | Generate Owner List By Radius

Value Information

	2016 Certified Values	2017 Working Values
Building Value	$0	$0
Extra Feature Value	$0	$0
Land Value	$102,000	$102,000
Land Agricultural Value	$0	$0
Agricultural (Market) Value	$0	$0
Just (Market) Value*	$102,000	$102,000
Assessed Value	$102,000	$102,000
Exempt Value	$0	$0
Taxable Value	$102,000	$102,000
Maximum Save Our Homes Portability	$0	$0
AGL Amount		

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Tax Information

Legal Information

CITY OF PORT ST JOE LOTS 1,3 & 5 ORB 577/678 FR HOBBS BLK 18 MAP 50A

The legal description shown here may be condensed for assessment purposes. Exact description should be obtained from the recorded deed.

Building Information

No buildings associated with this parcel.

Extra Features Data

Description	Number of Items	Unit Length x Width x Height	Units	Effective Year Built

No records associated with this parcel.

Land Information

LAND USE	NUMBER OF UNITS	UNIT TYPE	Frontage	Depth
COMM ST FF	3	LT	0	0

Property Information (qualified, unqualified, and multiple sales)

Multi-Parcel Sale	Sale Date	Sale Price	Instrument	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
No	06-30-2015	$ 120,000	Warranty Deed	577	678	Qualified	Vacant	HOBBS G M SR & CUYLER K	FUMBLES LLC
No	09-09-2014	$ 100	Quit Claim Deed	561	14	Unqualified	Improved	HOBBS CUYLER KING & G M HOBBS SR	HOBBS G M SR & CUYLER K
No	12-20-2010	$ 100	Quit Claim Deed	499	665	Unqualified	Improved	KING JANET WHITAKER	HOBBS CUYLER KING
No	12-14-2010	$ 100	PERSONAL REPRES.	499	519	Unqualified	Improved	KING JANET WHITAKER AS PERSONAL REP	HOBBS CUYLER KING
No	10-20-2010	$ 100	PERSONAL REPRES.	499	664	Unqualified	Improved	KING JANET WHITAKER AS PERSONAL REP	KING JANET WHITAKER

Sales In Area | Previous Parcel | Next Parcel | Field Definitions | Return to Main Search | Gulf Home

The Gulf County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The Senior Exemption Does Not Apply to All Taxing Authorities. Just (Market) Value is established by the Property Appraiser for ad valorem tax purposes. It does not represent anticipated selling price. Working values are subject to change. Website Updated: December 29, 2016

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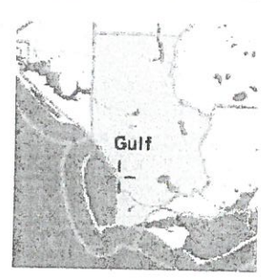
Gulf County Property Appraiser

Parcel: 04747-000R Acres: 0

Name:	FUMBLES LLC	Land Value	102,000
Site:	325 LONG AVE	Building Value	0
Sale:	120,000 on 06-2015 Reason=Q Qual=Y	Misc Value	0
Mail:	PO BOX 772 PORT ST JOE, FL 32457	Just Value	102,000
		Assessed Value	102,000
		Exempt Value	0
		Taxable Value	102,000



The Gulf County Property Appraiser's Office makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll. PLEASE NOTE THAT THE PROPERTY APPRAISER MAPS ARE FOR ASSESSMENT PURPOSES ONLY NEITHER GULF COUNTY NOR ITS EMPLOYEES ASSUME RESPONSIBILITY FOR ERRORS OR OMISSIONS —THIS IS NOT A SURVEY—

Date printed: 01/06/17 : 09:45:08

RECEIVED
JAN 06 2017
BY:

EPCI
PORT ST JOE BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

DATE: 10-18-16 **Permit #** _____ **Permit Fee** _____

OWNER'S NAME: STUART Shoaf

ADDRESS: 1902 Monument Ave

CITY, STATE & ZIP CODE: Port St Joe FL 32456 PHONE # 850-227-5408

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): Jason

ADDRESS: 370-6019

CITY, STATE & ZIP CODE: _____ PHONE # _____

CONTRACTOR'S NAME: _____

ADDRESS: _____

CITY, STATE & ZIP CODE: _____ PHONE # _____

STATE LICENSE NUMBER: _____ COMPETENCY CARD # _____

ADDRESS OF PROJECT: 325 Long Ave

PROPOSED USE OF SITE: Self Storage

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?
X YES __ NO

PROPERTY PARCEL ID # 04747-000R

LEGAL DESCRIPTION OF PROPERTY: City Port St Joe Lots 1,3+5 ORB 577/678 BLK 18 MAP 50A

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

ARCHITECT'S/ENGINEER'S NAME: _____

ADDRESS: _____ CITY, STATE & ZIP: _____

MORTGAGE LENDER'S NAME: NA

ADDRESS: _____ CITY, STATE & ZIP: _____

WATER SYSTEM PROVIDER: NA SEWER SYSTEM PROVIDER: NA

PRIVATE WATER WELL: NA SEPTIC TANK PERMIT NUMBER: NA

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Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

PURPOSE OF BUILDING:

___Single Family ___Townhouse ___Commercial ___Industrial

___Duplex ___Swimming Pool X Storage ___Sign

___Multi-Family ___Demolition ___Other

___Addition, Alteration or Renovation to building.

Distance from property lines: Front _____ Rear 10 L. Side 10
R. Side 0
Cost of Construction $ _____ Square Footage _____
EPI _____ Flood Zone _____ Lowest Floor Elevation _____
Area Heated/Cooled _____ # Of Stories _____ # Of Units _____
Type of Roof _____ Type of Walls _____ Type of Floor _____
Extreme Dimensions of: Length _____ Height _____ Width _____

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of $2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

NOTICE: **EPCI:** The Port St. Joe Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

OWNER'S AFFIDAVIT: I herby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent

Date: 10-18-16

Deborah Stitt
Notary as to Owner or Agent

My Commission expires: 2017

DEBORAH KAY STITT
MY COMMISSION # EE871003
EXPIRES April 20, 2017
(407) 398-0153 FloridaNotaryService.com

x
Signature of Contractor

Date: Dec 2 2016

Deborah Stitt
Notary as to Contractor

My Commission expires: 2017

APPLICATION APPROVED BY: _____ **BUILDING OFFICIAL.**

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RECEIVED
JAN 30 2017
BY:

SCE
SOUTHEASTERN
CONSULTING ENGINEERS, INC.

FUMBLES, LLC. STORAGE BUILDINGS CONSTRUCTION DRAWINGS

SECTION	1	TOWNSHIP	8S	RANGE	11W

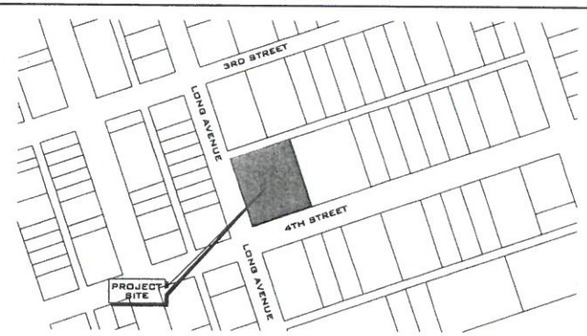
325 LONG AVENUE
PORT ST. JOE, FLORIDA

FOR

FUMBLES, LLC

PROJECT VICINITY

LOCATION MAP



SHEET INDEX

SHEET	SHEET NAME
CVR	COVER SHEET
G1	GENERAL NOTES
C1	EXISTING CONDITIONS
C2	SITE PLAN
C3	GRADING/STORMWATER PLAN
D1-D2	DETAILS

P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LB# 29004
SCE SOUTHEASTERN CONSULTING ENGINEERS, INC.

COVER SHEET
FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

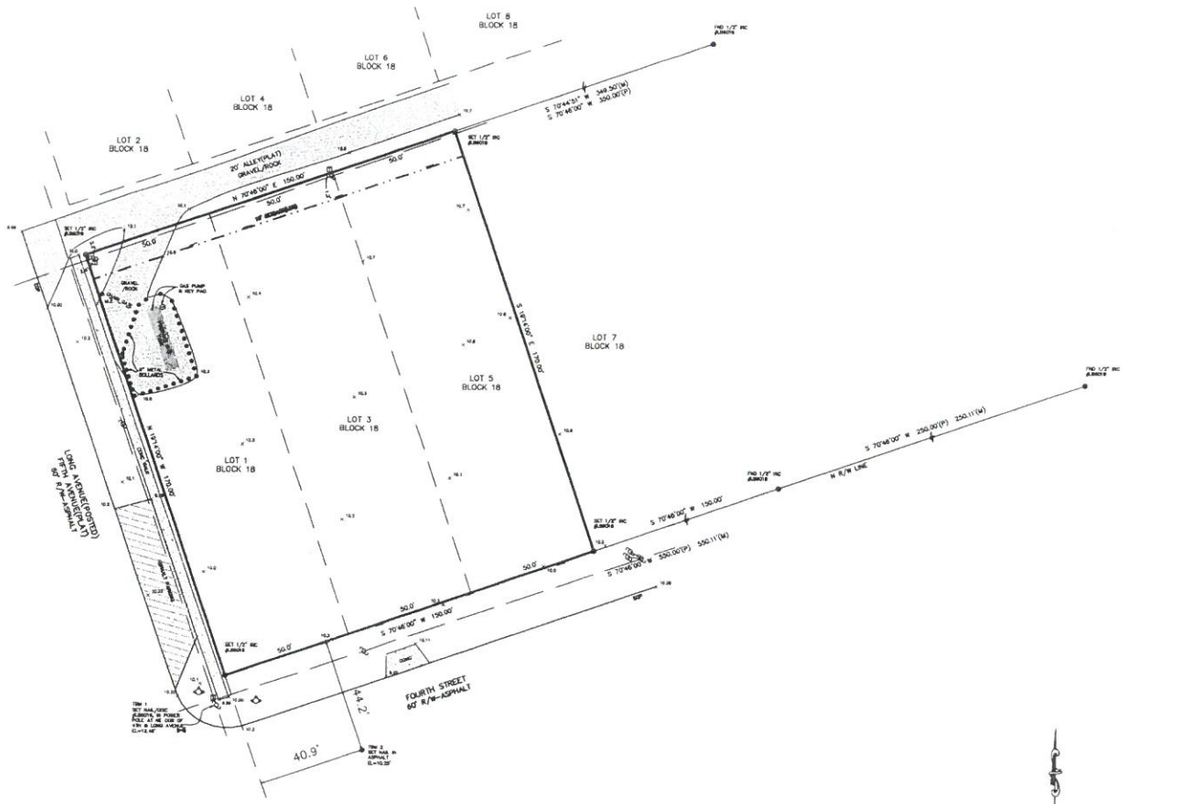
REVISIONS:

ITEM	BY	DATE

PROJECT NUMBER: 16-293-01
DESIGNED BY: S.HARBY DRAWN BY: S.HARBY CHECKED BY: J.HUSBAND
FOR: FUMBLES, LLC.
P.O. BOX 772
PORT ST. JOE, FL 32456

DATE: 1/15/16
SHEET NO.
CVR

18



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

SURVEY NOTE:
ELEVATIONS AND CONTOURS SHOWN HEREON ARE TRUE ELEVATIONS BASED ON THE NAVD '88.

SCE
SOUTHEASTERN CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LB# 29064

EXISTING CONDITIONS

FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

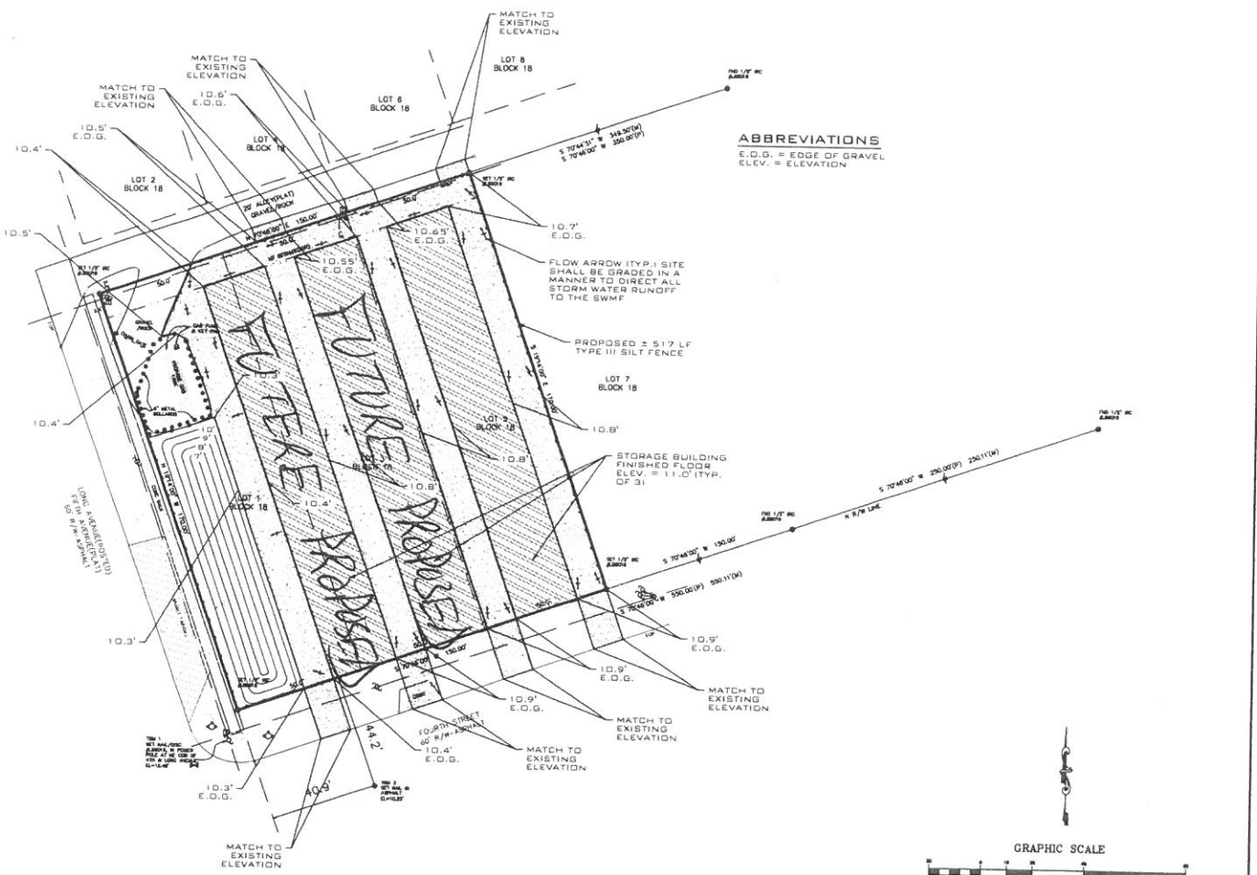
13

REVISIONS:			
DATE	BY	ITEM	

PROJECT NUMBER: 6-29-01
PROJECT MGR: S. MARSH
DRAWN BY: S. MARSH
CHECKED BY: J. HUSBAND
FOR: FUMBLES, LLC.
P.O. BOX 772
PORT ST. JOE, FL 32456

DATE: 11/15/16

SHEET NO.
C1



ABBREVIATIONS

E.O.G. = EDGE OF GRAVEL
ELEV. = ELEVATION

SURVEY NOTE:
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SCE SOUTHEASTERN CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LB# 29064

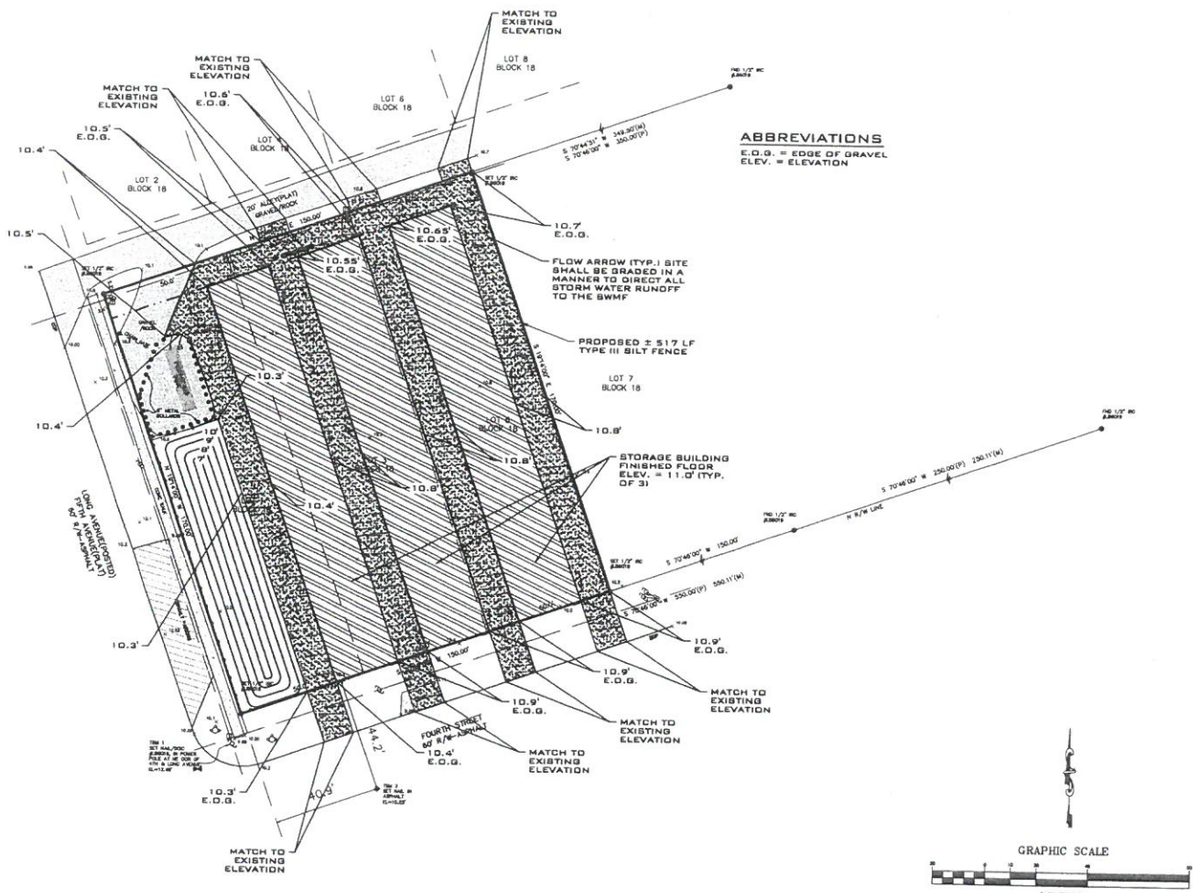
GRADING/STORMWATER PLAN

FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

REVISIONS			
ITEM	BY	DATE	

PROJECT NUMBER: 16-293-01
DESIGNED BY: DRAWN BY: CHECKED BY: J.HUBBARD
FOR: FUMBLES, LLC.
P.O. BOX 772
PORT ST. JOE, FL 32456
DATE: 11/15/16
SHEET NO. C3

H



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SCE SOUTHEASTERN CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LBF 29064

GRADING/STORMWATER PLAN

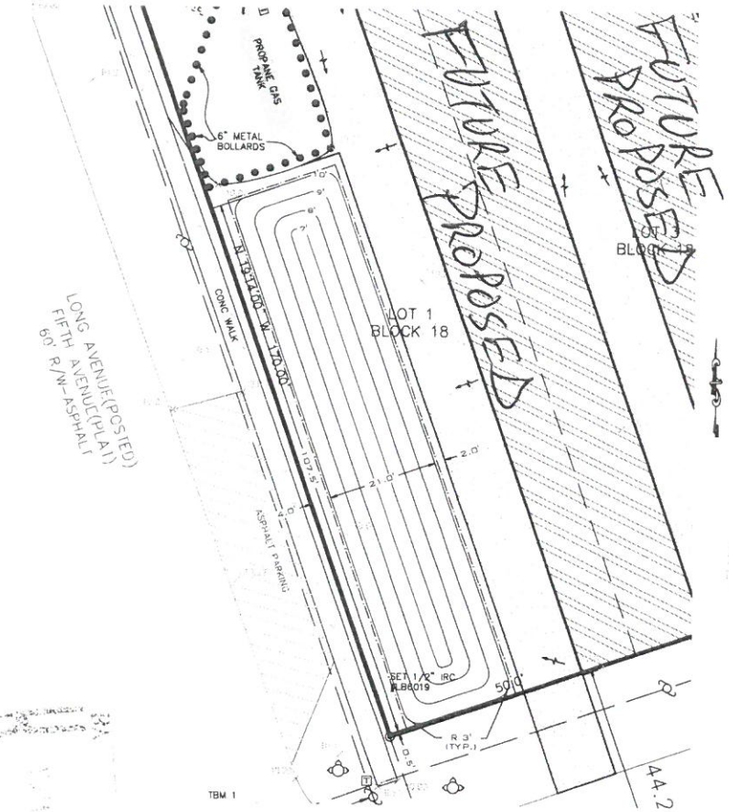
FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

REVISIONS:			
ITEM	BY	DATE	

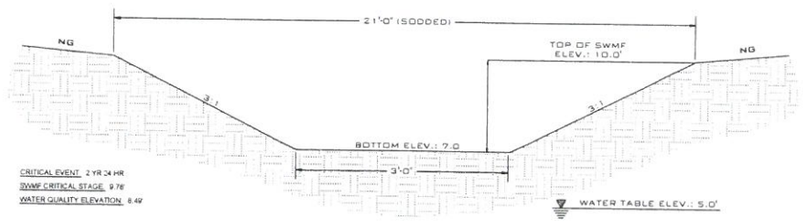
PROJECT NUMBER: 16-293-01
DESIGNED BY: T.HARBIN
DRAWN BY: T.HARBIN
CHECKED BY: J.HUSBAND
FOR: FUMBLES, LLC.
P.O. BOX 772
PORT ST. JOE, FL 32456

DATE: 11/15/16
SHEET NO. C3

15



1 / D1 SWMF LAYOUT DETAIL
SCALE: 1" = 10'



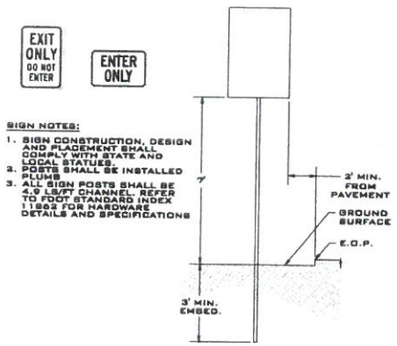
2 / D1 SWMF TYPICAL SECTION
SCALE: N.T.S.

SCE
SOUTHEASTERN CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LB# 29064

DETAILS
FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

PROJECT NUMBER: 16-293-01	REVISIONS:		
DESIGNED BY: T.HARSH	DRAWN BY: T.HARSH	CHECKED BY: J.HUBBARD	DATE / BY / ITEM
FOR: FUMBLES, LLC. 325 LONG AVE. PORT ST. JOE, FL 32456			
DATE: 11/15/16			
SHEET NO. D1			

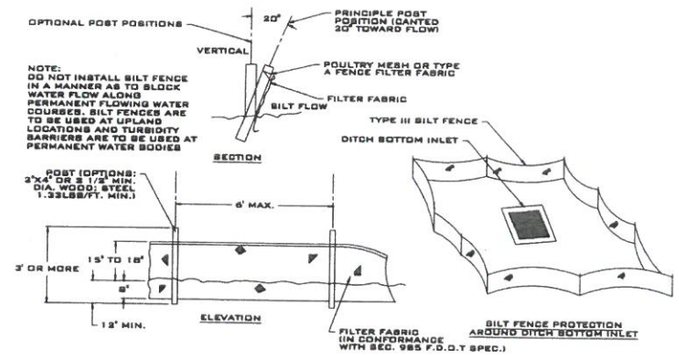
19



SIGN NOTES:

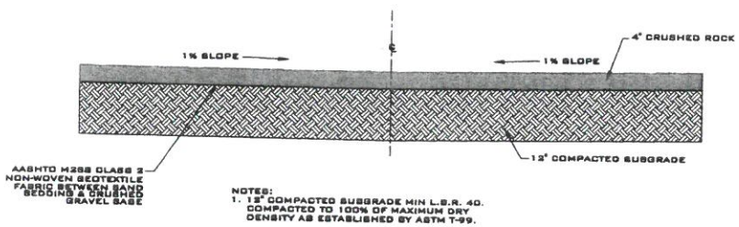
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.
2. POSTS SHALL BE INSTALLED PLUMB.
3. ALL SIGN POSTS SHALL BE 4.9 LB/FT CHANNEL. REFER TO FDOT STANDARD INDEX 11862 FOR HARDWARE DETAILS AND SPECIFICATIONS

1 / D2 TYPICAL SIGN DETAIL
N.T.S.



NOTE:
DO NOT INSTALL SILT FENCE IN A MANNER AS TO BLOCK WATER FLOW ALONG PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS ARE TO BE USED AT PERMANENT WATER BODIES

2 / D2 TYPE III SILT FENCE
N.T.S.



NOTES:
1. 12" COMPACTED SUBGRADE MIN L.B.R. 40. COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM T-99.

3 / D2 GRAVEL DRIVE DETAIL
N.T.S.

SCE SOUTHEASTERN CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 639-3860
LB# 29064

DETAILS
FUMBLES, LLC. STORAGE BUILDINGS
325 LONG AVENUE
PORT ST. JOE, FLORIDA 32457

REVISIONS:			
DATE	BY	ITEM	

PROJECT NUMBER: 6-293-01
DRAWN BY: T.HAMM
CHECKED BY: J.HUSBAND
FOR: FUMBLES, LLC.
P.O. BOX 778
PORT ST. JOE, FL 32456
DATE: 1/15/16
SHEET NO. D2

BUILDING SYSTEMS, INC.
3300 Holcomb Bridge Rd. Suite 201
Norcross, Georgia 30092

December 12, 2016

Ref. 1003452A

Arco Building Systems, Inc.
3300 Holcomb Bridge Rd, Ste 201
Norcross, GA 30092

Job Location: Andy Shoaf
301 Long Ave
Port St. Joe, FL 32456

Building Size: Gable 25 ft x 160 ft x 8.5 ft :0.5 on 12 slope

Gentlemen:

This is to certify that the above referenced building has been designed in accordance with the American Institute of Steel Construction (AISC 14th edition) and the American Iron and Steel Institute (NASPEC 2007 edition) specifications and good engineering practice. All welding is per the American Welding Society (AWS, 2004) specifications. Erection shall be in accordance with the for construction erection drawings. Loads are applied in accordance with the 2014 edition of the Florida Building Code.

The building is also designed in accordance with the information provided in the signed Order Document and per authorized changes to such document. Design loads were provided by the customer.

Design Loads:

Dead Load:	Metal Building Structure Only		
Live Load:	20	psf	Non-Reducible
Ground Snow:	0	psf	Ce = N.A., Ct = N.A., Is = N.A.
Roof Snow:	0	psf	
Collateral Load:	0	psf	

Wind Speed: 150 Ultimate Wind Speed Exp = C
Risk Category I

Internal Pressure Coeff.: GCpi=+/-0.18

Building Calculation for wind loadings assumes building is: Enclosed

Component & Cladding wind loads:
(133 sq ft & 10 sq ft tribs)

Pressure		*Suction*	
components	*cladding*	*components*	*cladding*
+ 29.1 psf	+ 29.5 psf	- 31.6 psf	- 32.0 psf
+ 29.1 psf	+ 29.5 psf	- 38.7 psf	- 39.5 psf

Note: 0.6 Load factor applied per section 1605.3 of FBC.

Seismic Data: N.A.

The Florida Product Approval number for the wall sheet is: FL6164-R4.
The Florida Product Approval number for the roof sheets is: FL5735-R4.

This letter of certification applies solely to the steel building and its component parts as furnished by Arco Building Systems, Inc.
Specifically excluded is any foundation, masonry, or general contract work to include erection certification.
The undersigned is the metal building engineer and not the engineer of record for the overall project.

Respectfully Submitted,

Brian D. Marshall P.E. 12.12.16

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GENERAL NOTES:

Temporary supports, such as temporary guys, braces, shoring, or other elements required for erection will be determined, furnished, and installed by the erector. (Sec. 7.9.1 American Institute of Steel Construction (AISC) Code of Standard Practice, 13th edition.)
It is the contractor's responsibility to apply and observe all pertinent safety rules and regulations, and per OSHA standards as applicable.
Members such as light gauge coldformed angle, panels, and trim/flashing may require field modification.
All required field modifications should be minimized to have the least possible effect on the provided materials.

Materials	ASTM Designation	Minimum Yield
Cold Formed Structural Shapes	A1011	55 KSI
Roof and Wall Sheets	A792	80 KSI

ARCO BUILDING SYSTEMS, INC.
3300 HOLCOMB BRIDGE RD. SUITE 201
NORCROSS, GEORGIA 30092

BUILDING DESCRIPTION:

WIDTH: 25'-0" LENGTH: 160'-0" HEIGHT: 8'-6"
(BUILDING DIMENSIONS ARE NOMINAL. REFER TO PLANS).
ROOF SLOPE (RISE/12): 1/2:12

19

Maximum Column Reactions:

1.0 Dead + 1.0 Live = 0.8 kips (Vertical)
0.6 Dead + 0.6 Wind= - 1.4 kips (Uplift)
+/- 1.4 kips (Horizontal)

ROOF PANELS:

COLOR: Galvalume

WALL PANELS:

COLOR: Need Std. Colors

TRIM COLORS:

GABLE/EAVE: Need Std. Colors
CORNER: Need Std. Colors
MULLION: Need Std. Colors
HEAD TRIM: Need Std. Colors
DOWNSPOUTS: Need Std. Colors

PARTITION PANELS:

COLOR: Galvalume

INTERIOR HALLWAY PANELS:

COLOR: Need Std. Colors

INTERIOR HALLWAY TRIM:

COLOR: Need Std. Colors

LINER PANELS:

COLOR: Galvalume

LINER TRIM:

COLOR: Galvalume

MINI ROLL UP DOORS:

COLOR: N/A

SPECIAL NOTES:

GENERAL DESIGN DATA

BUILDING CODE = FBC 2014

Design Loads:				
Dead Load:	Metal Building Structure Only			
Live Load:	20	psf	Non-Reducible	
Ground Snow:	0	psf	Ce = N.A., Ct = N.A., Is = N.A.	
Roof Snow:	0	psf		
Collateral Load:	0	psf		
Wind Speed:	150	Ultimate Wind Speed Risk Category I		Exp = C
Internal Pressure Coeff.:	GCpi=+/-0.18			
Building Calculation for wind loadings assumes building is:			Enclosed	

Component & Cladding wind loads: (133 sq ft & 10 sq ft trib s)	Pressure components	Pressure cladding	Suction components	Suction cladding
	+ 29.1 psf	+ 29.5 psf	- 31.6 psf	- 32.0 psf
	+ 29.1 psf	+ 29.5 psf	- 38.7 psf	- 39.5 psf

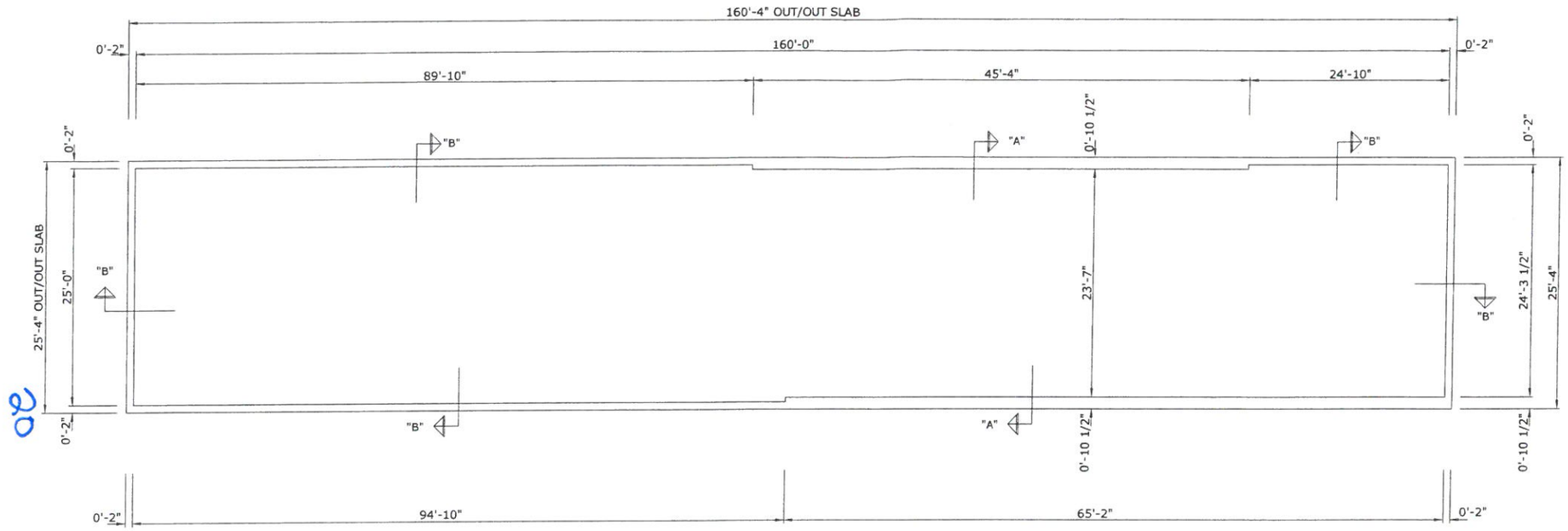
Note: 0.6 Load factor applied per section 1605.3 of FBC.

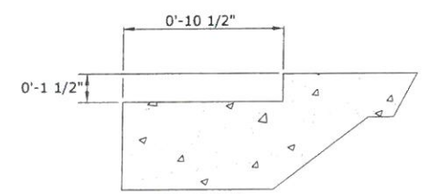
Seismic Data: N.A.

The Florida Product Approval number for the wall sheet is: FL6164-R4.
The Florida Product Approval number for the roof sheets is: FL5735-R4.

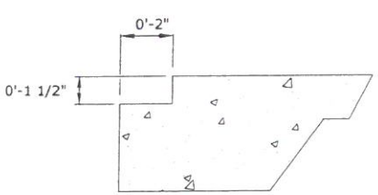
SUPPLIER: Arco Building Systems, Inc.
PROJECT: Andy Shoaf
JOB NUMBER: 1003452A

12.12.16





SECTION "A"



SECTION "B"

NOTE: MANUFACTURER ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF FOUNDATION OR SLAB FOR THIS PROJECT. FOUNDATION DESIGN TO BE DONE BY A REGISTERED PROFESSIONAL ENGINEER.

GENERAL NOTES

NO CHANGES SHALL BE MADE TO THIS BUILDING SYSTEM UNLESS APPROVED IN WRITING BY THE MANUFACTURER'S ENGINEERING DEPARTMENT. UNAPPROVED CHANGES WILL RESULT IN AN UNSAFE BUILDING DESIGN AND WILL ENDANGER PUBLIC SAFETY.

	DESCRIPTION	DATE	DRWN	CK'D
0	FOR CONSTRUCTION	9/25/16	SKJ	JM

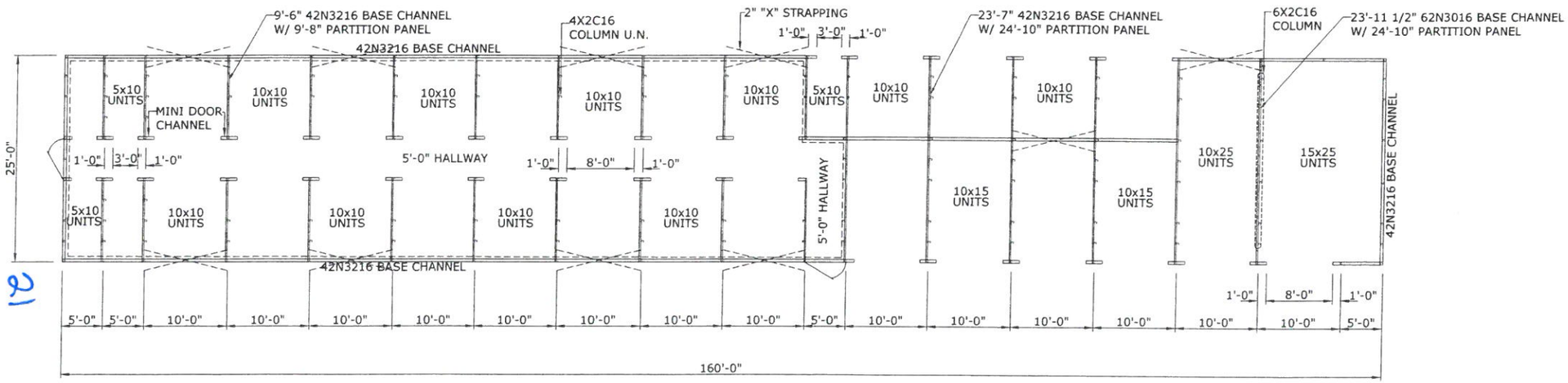
Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE	NTS
APPROVED BY	
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	S1 of S1

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

12.12.16

NOTE: DASHED LINE REPRESENTS 29 GA. LINER PANELS AND (20'-0") BASE CHANNEL (FIELD CUT)



PARTITION LAYOUT

DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/25/16	SKJ	JM

Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE NTS	APPROVED BY
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E1 of E7

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

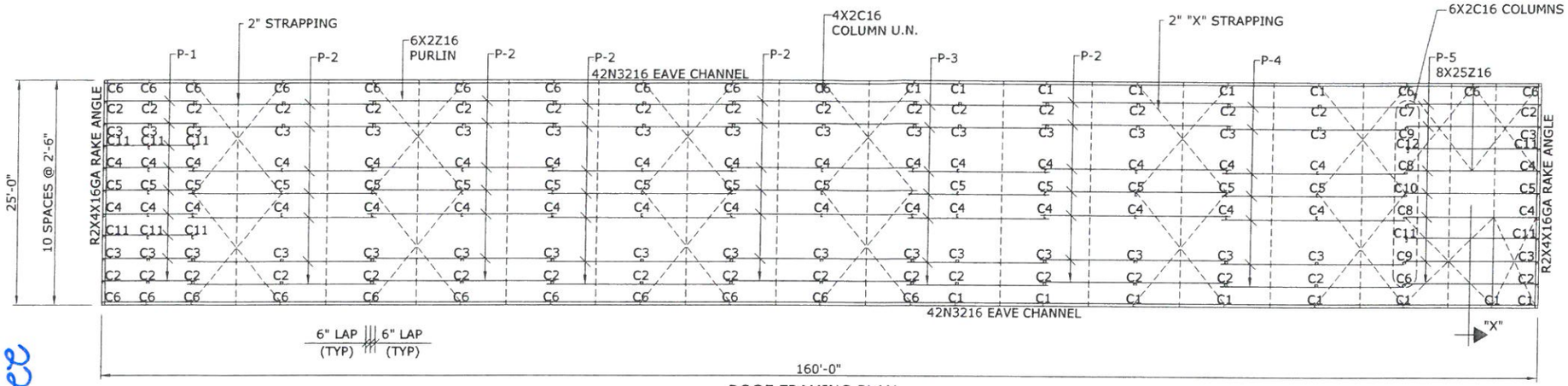
12.12.16

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS. FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C. ALL LATERAL PARTITIONS WILL USE BASE CHANNEL. FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

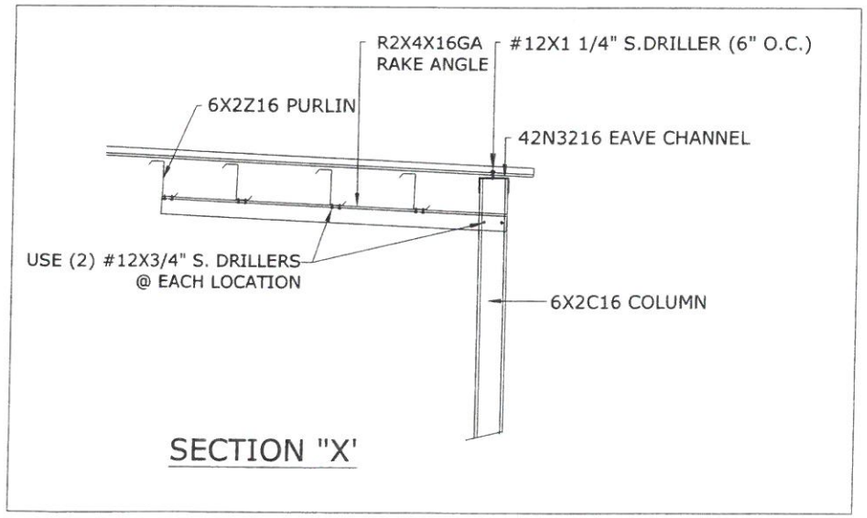
(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.



ROOF FRAMING PLAN



SECTION "X'

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS. FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C. ALL LATERAL PARTITIONS WILL USE BASE CHANNEL. FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.

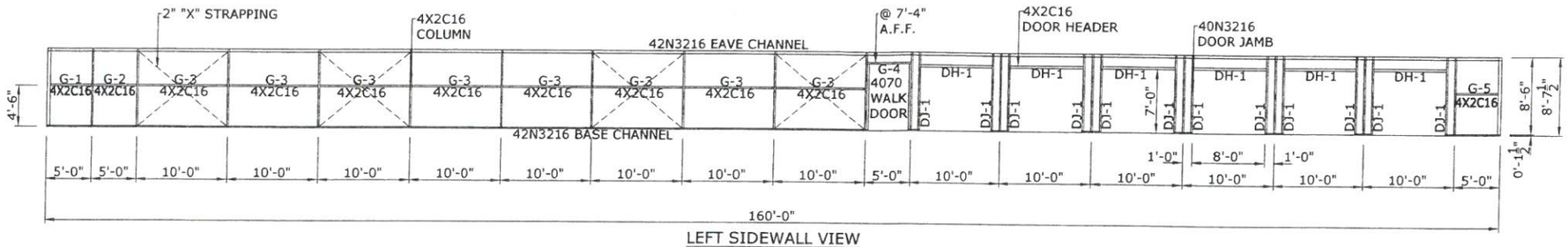
DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/25/16	SKJ	JM

Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

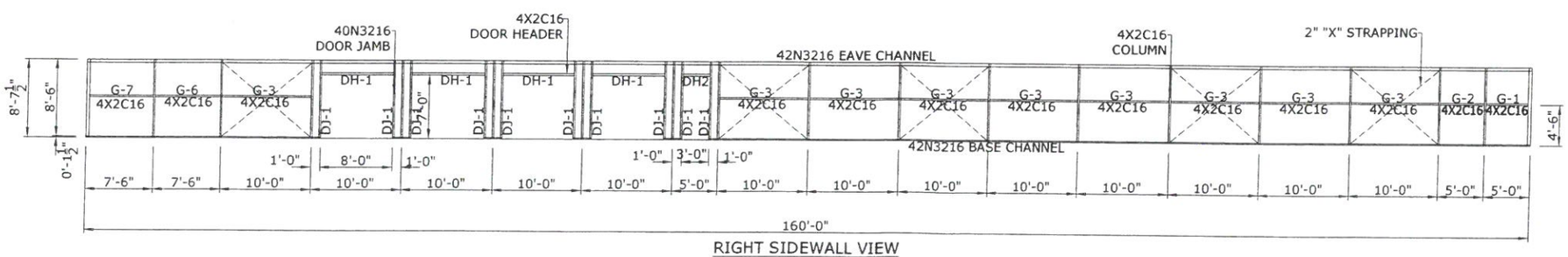
SCALE NTS	APPROVED BY
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E2 of E7

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

12.12.16



LEFT SIDEWALL VIEW



RIGHT SIDEWALL VIEW

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS. FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C. ALL LATERAL PARTITIONS WILL USE BASE CHANNEL. FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.

	DESCRIPTION	DATE	DRWN	CK'D
0	FOR PERMIT	9/25/16	SKJ	JM

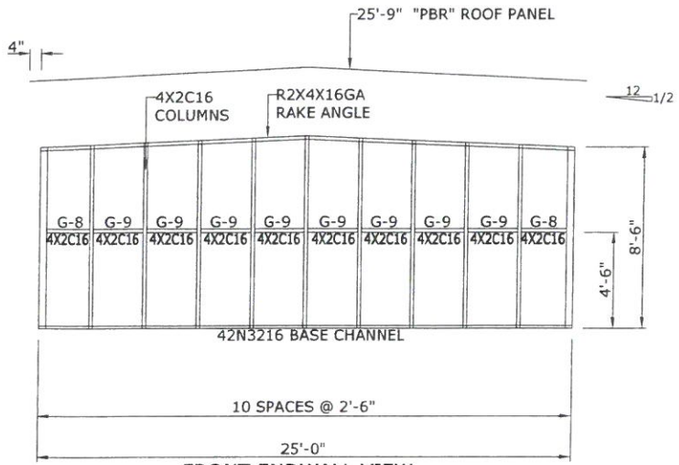
Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE	NTS
APPROVED BY	
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E3 of E7

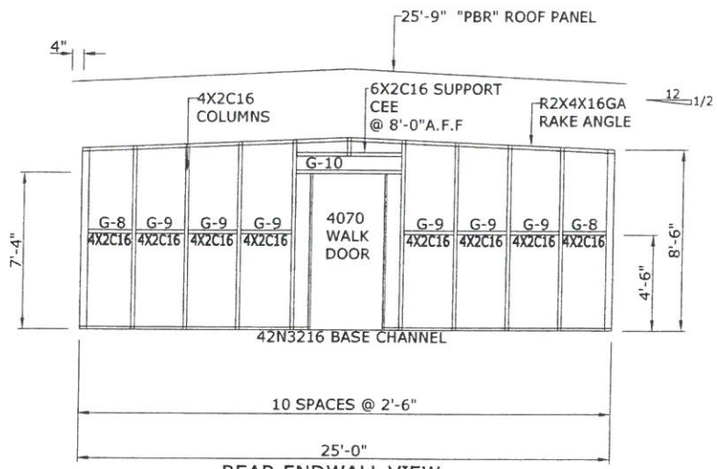
The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

12.12.16

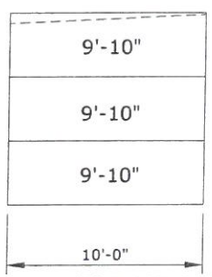
23



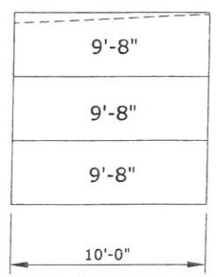
FRONT ENDWALL VIEW



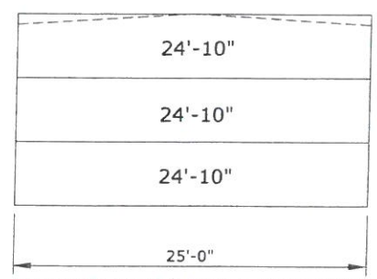
REAR ENDWALL VIEW



PARTITION: (3) PANEL REQUIRED
@ (1) LOCATIONS



PARTITION: (3) PANEL REQUIRED
@ (18) LOCATIONS



PARTITION: (3) PANEL REQUIRED
@ (5) LOCATIONS

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS.
FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C.
ALL LATERAL PARTITIONS WILL USE BASE CHANNEL.
FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.

DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/25/16	SKJ	JM

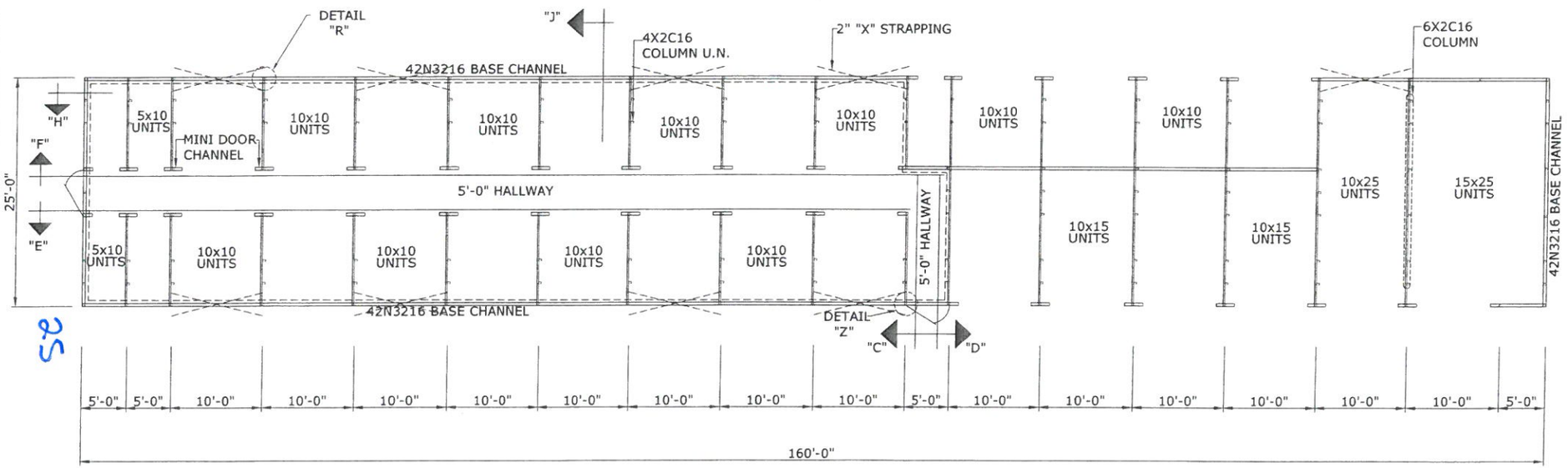
Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE NTS	APPROVED BY
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E4 of E7

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

12.12.16

NOTE: DASHED LINE REPRESENTS 29 GA. LINER PANELS AND (20'-0") BASE CHANNEL (FIELD CUT)



PARTITION LAYOUT

DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/25/16	SKJ	JM

Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE	NTS
APPROVED BY	
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E5 of E7

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

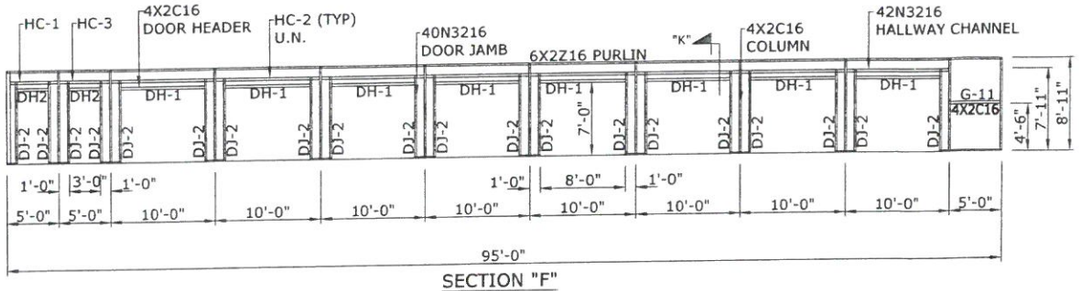
12.12.16

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS. FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C. ALL LATERAL PARTITIONS WILL USE BASE CHANNEL. FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

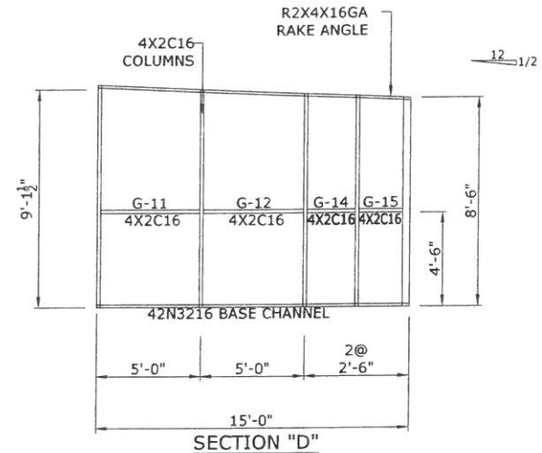
(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.

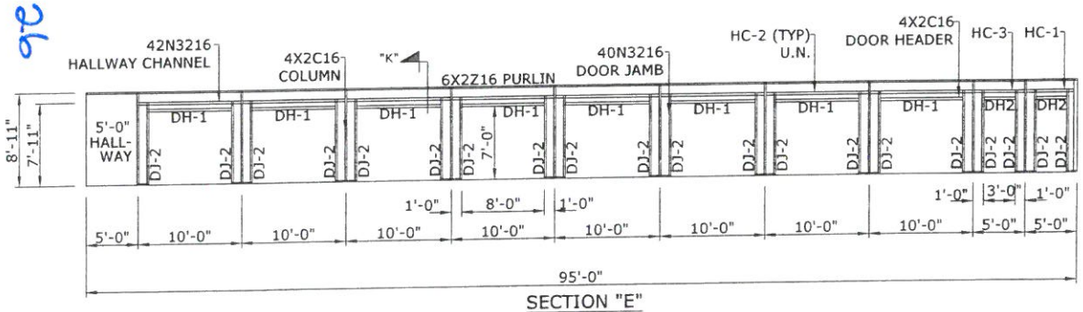


SECTION "F"

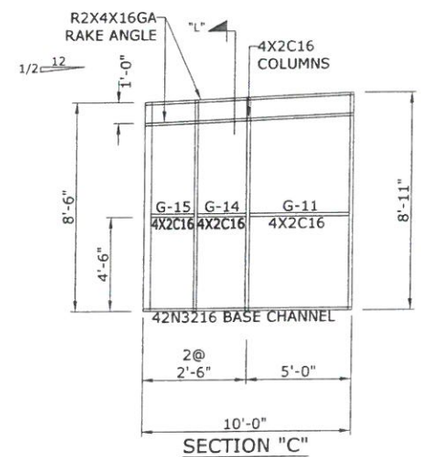


SECTION "D"

26



SECTION "E"



SECTION "C"

DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/26/16	SKJ	JM

Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE NTS	APPROVED BY
PHONE NUMBER 800-241-8339	
WORK ORDER NUMBER 112810	
JOB NUMBER 1003452A	
SHEET NUMBER E6 of E7	

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

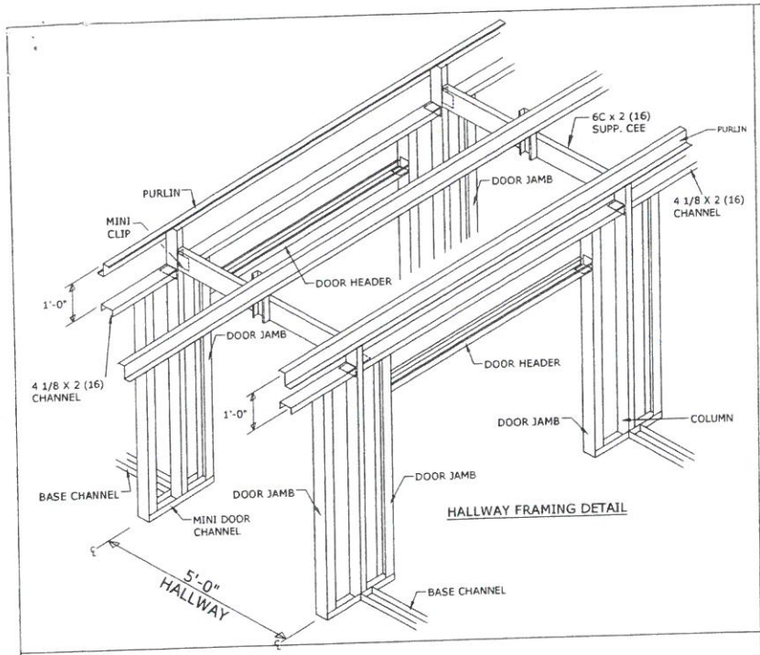
12.12.16

(1) NOTE: 2X4X16GA ANGLE TO BE PLACED ON ONE SIDE AT THE BASE OF ALL LONGITUDINAL PARTITIONS. FOR ATTACHMENT TO CONCRETE USE 1/4" NAIL ANCHORS AT 2'-6" O/C. ALL LATERAL PARTITIONS WILL USE BASE CHANNEL. FOR ATTACHMENT TO CONCRETE USE 1/2" DIA. WEDGE ANCHORS AT 2'-6" O/C.

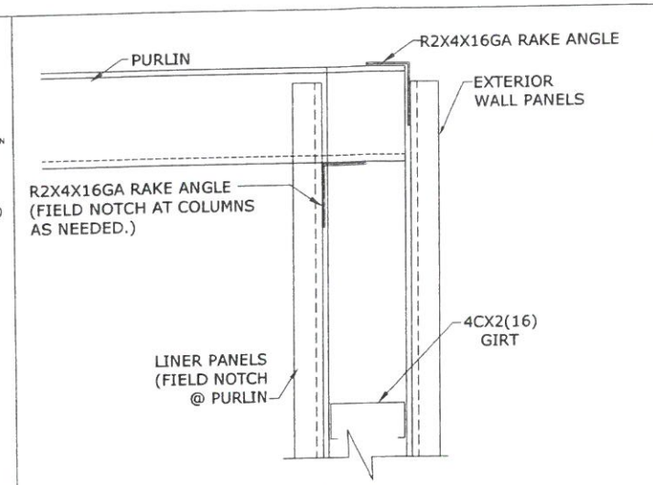
(2) NOTE: PARTITIONS AND PANELS UTILIZED AS DIAPHRAGM BRACING AND ARE INTEGRAL PARTS OF THE STRUCTURE.

(3) NOTE: FIELD CUT 20'-0" 2X4X16GA ANGLE AND 20'-0" 42N3216 CHANNEL AS NEEDED.

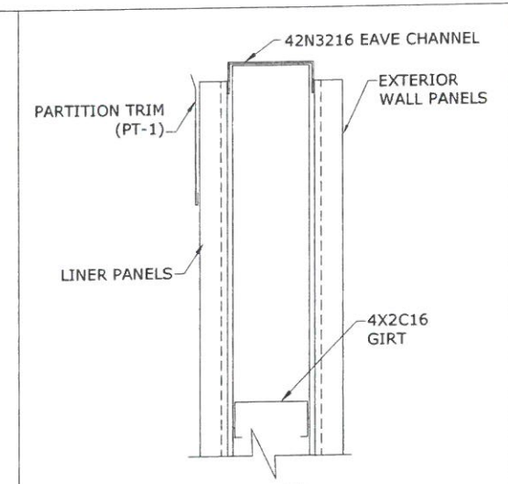
(4) NOTE: SEE ERECTION SUPPLEMENT FOR FURTHER DETAILS.



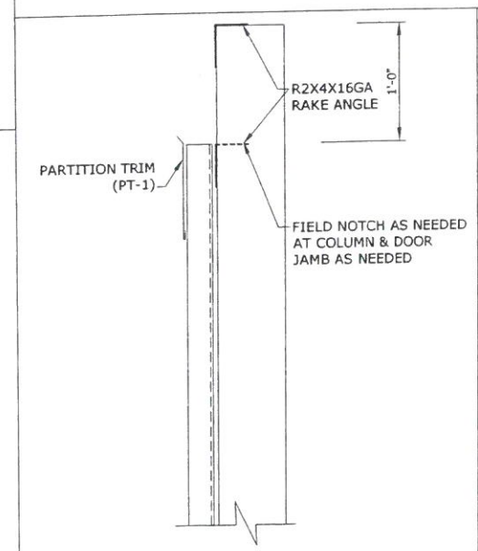
HALLWAY FRAMING DETAIL



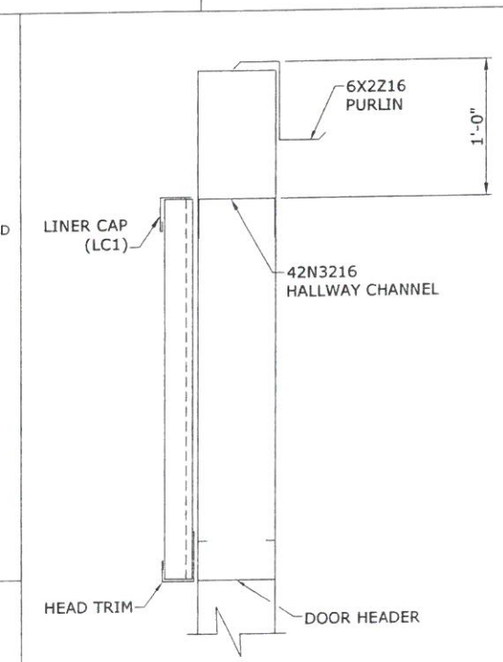
SECTION "H"



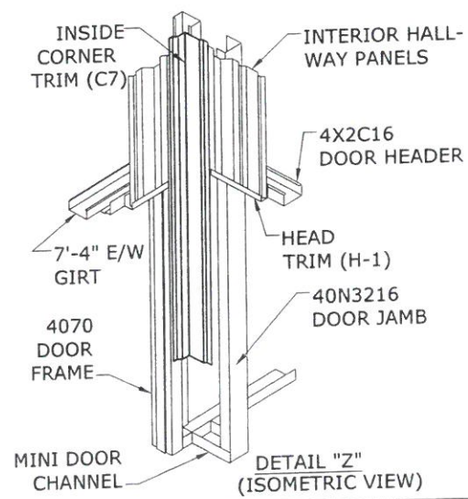
SECTION "J"



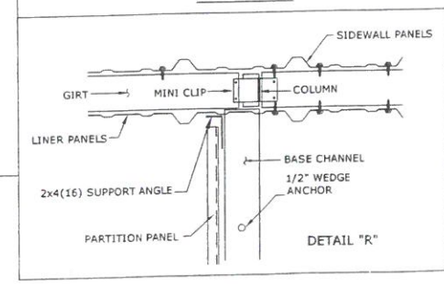
SECTION "L"



SECTION "K"



DETAIL "Z" (ISOMETRIC VIEW)



DETAIL "R"

DESCRIPTION	DATE	DRWN	CK'D
0 FOR PERMIT	9/25/16	SKJ	JM

Arco Building Systems, Inc.
25'-0" x 160'-0" x 8'-6" E.H.
Andy Shoaf
301 Long Ave.
Port St. Joe, FL 32456

SCALE	NTS
APPROVED BY	
PHONE NUMBER	800-241-8339
WORK ORDER NUMBER	112810
JOB NUMBER	1003452A
SHEET NUMBER	E7 of E7

The registered professional engineer whose seal appears on these drawings is the metal building engineer and is not the engineer of record for the overall project. This seal pertains only to the metal building and it components, which are designed and provided by the metal building manufacturer.

12.12.16

Surrounding Area Utility Deposits

- **Bay County**- $75 water, $95 Sewer, $15 Service Fee: Total- $185 + $60 for irrigation
- **Lynn Haven-** $100 Deposit, $50 Connection Fee inside the City: Total $150
  $62.50 Connection Fee outside the City: Total $162.50
- **Panama City-** $140.34 Deposit, $25 Service fee inside the City: Total $162.50. Outside the City limits vary.
- **Callaway-** House $260, House and Irrigation $300, Sewer only $135
- **Port St. Joe-** $100 Deposit, $35 Service Fee: Total $135 plus first month trash service. Temporary turn-on (14) day's $50 deposit, $35 Service fee: Total- $85

DUKE ENERGY.

Lighting Account Estimates

DE Contact:

Address:

Phone:

November 14, 2016

Project Details	
Customer:	CITY OF PORT ST JOE
Account:	94543-43553
Site:	000 5TH ST *LITE, STREET LIGHTING
	PORT ST JOE FL 3245
Contact:	Jim Anderson
Phone:	850-229-8261 Ext. 113

Scope of Request
LED Upgrade for the City of Port St. Joe

EXISTING INVENTORY

Quantity	Product Description Fixtures and Poles	Per Unit Rental	Per Unit Maint.	Per Unit F & E	Per Unit Unit Total	Sub-Total
235	50W HPS ROADWAY L34, L35 (Maint or Rem)	$3.12	$2.04	$1.15	$6.31	$1,482.85
231	30/35' WOOD PLBW30 /35	$2.17	$0.00	$0.00	$2.17	$501.27
228	100W HPS ROADWAY L27, L33	$3.64	$1.72	$2.30	$7.66	$1,746.48
173	150W HPS ROADWAY L36, L38, L45	$3.78	$1.75	$3.56	$9.09	$1,572.57
23	30/35' CONCRETE PLBC301 / 351	$5.05	$0.00	$0.00	$5.05	$116.15
16	100W FLAGLER BLK L76	$16.48	$1.72	$2.68	$20.88	$334.08
13	250W HPS ROADWAY L21	$4.16	$1.72	$5.69	$11.57	$150.41
10	16' WASHINGTON SNGL PLBC16W	$21.77	$0.00	$0.00	$21.77	$217.70
8	175W SANIBEL MH BLK L88 (Rem ONLY)	$18.39	$2.72	$4.05	$25.16	$201.28
8	22' SANIBEL SNGL PLBC22S	$16.03	$0.00	$0.00	$16.03	$128.24
6	25" Tenon Conc Bronz	$17.54			$17.54	$105.24
6	16' VICTORIAN II SNGL PLBC16V	$13.07	$0.00	$0.00	$13.07	$78.42
5	150W MH BISCAYNE Pulse Start Q145, L77P	$16.63	$2.92	$3.56	$23.11	$115.55
5	250W HPS FLOODLIGHT L29	$5.21	$1.72	$5.63	$12.56	$62.80
1	400W HPS ROADWAY L24	$5.03	$1.76	$9.24	$16.03	$16.03
1	400W HPS FLOODLIGHT L32	$5.19	$1.76	$9.30	$16.25	$16.25
1	100W HPS ROADWAY Q116, Q116S	$6.22	$1.72	$2.30	$10.24	$10.24
					$0.00	$0.00
	Rental, Maintenance, F&E Totals:	$3,954.60	$1,274.39	$1,626.57		
					Existing Estimated Monthly Rental	**$6,855.56**

PROPOSED INVENTORY

Quantity	Product Description Fixtures and Poles	Per Unit Rental	Per Unit Maint.	Per Unit F & E	Per Unit Unit Total	Sub-Total
235	40W LED Roadway	$4.57	$1.39	$0.77	$6.73	$1,581.55
231	30/35' WOOD PLBW30 /35	$2.17	$0.00	$0.00	$2.17	$501.27
228	40W LED Roadway	$4.57	$1.39	$0.77	$6.73	$1,534.44
173	70W LED	$5.35	$1.39	$1.32	$8.06	$1,394.38
23	30/35' CONCRETE PLBC301 / 351	$5.05	$0.00	$0.00	$5.05	$116.15
16	60W LED Biscayne	$19.11	$1.39	$1.16	$21.66	$346.56
13	216W LED Roadway, OH L160	$11.61	$1.39	$4.16	$17.16	$223.08
10	16' WASHINGTON SNGL PLBC16W	$21.77	$0.00	$0.00	$21.77	$217.70
8	70W LED Sanibel Q150	$20.80	$1.39	$1.37	$23.56	$188.48
6	25" Tenon Conc Bronz	$17.54			$17.54	$105.24
6	16' VICTORIAN II SNGL PLBC16V	$13.07	$0.00	$0.00	$13.07	$78.42
5	60W LED Biscayne	$19.11	$1.39	$1.16	$21.66	$108.30
5	250W HPS FLOODLIGHT L63	$5.21	$1.72	$5.63	$12.56	$62.80
1	284W LED Roadway, OH L162	$14.08	$1.39	$5.42	$20.89	$20.89
1	400W HPS FLOODLIGHT L30	$5.19	$1.76	$9.30	$16.25	$16.25
1	40W LED Roadway	$4.57	$1.39	$0.77	$6.73	$6.73
8	22' SANIBEL SNGL PLBC22S	$16.03	$0.00	$0.00	$16.03	$128.24
					$0.00	$0.00
	Rental, Maintenance, F&E Totals:	$4,957.01	$955.56	$717.91		
Estimates valid for 30 days and subject to change.					**Proposed Estimated Monthly Rental**	**$6,630.48**

Estimated Monthly Rental *excludes any applicable taxes, franchise fees or customer charges*

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1.9 Administrative Leave

Policy

1. The City of Port St. Joe Administrative Leave Policy is as follows:

   Employees who serve as elected officials within Gulf County are allows the use of Administrative Leave for meeting and duties within the capacity of the position in which they have been elected. The employee will note such time on their bi-weekly time sheet. This policy supersedes Article 7 Standards of Conduct Section 4 Outside Employment of the City of Port St. Joe personnel Policies and Procedures manual adopted June 1, 1993 for Elected officials only.

March 10, 2017

Short Term Vacation Rentals – Oppose HB 425

HB 425 (La Rosa) will be considered by the House Agriculture and Property Rights Subcommittee on Tuesday, March 14 at 8:00 a.m.

Please make phone calls to Representatives on this House Committee and Urge them to Oppose HB 425.

HB 425 (La Rosa) would preempt cities from adopting ordinances specific to vacation rentals. The Florida League of Cities opposes HB 425 because it would take away local government authority to regulate short term rental properties to protect the health and welfare of residents, visitors and businesses. If your city has adopted a vacation rental ordinance since the law changed in 2014, that ordinance will be nullified.

Message to Representatives:

A short-term vacation rental is defined as a property that is rented more than three times a year for less than 30 days at a time.

Short-term rentals are causing problems in many cities around the state by creating commercial activity in residential areas (mini-hotels in neighborhoods). Problems include noise, inadequate parking, infrastructure intended for residential use is now being used on a commercial scale, and decreased property values in neighborhoods taken over by vacation rentals.

Oppose HB 425 because it would remove any local authority to regulate these properties that have escalated in residential areas around the state.

Cities need their Home Rule authority fully restored so they can effectively determine local solutions that work for their respective communities

Please contact members of the House Agriculture and Property Rights Subcommittee and urge them to Oppose HB 425!

House Agriculture and Property Rights Subcommittee – Oppose HB 425

Representative	District	TLH Ph.	E-mail
Tom Goodson, Chair	R-51	(850) 717-5051	tom.goodson@myfloridahouse.gov
Elizabeth Porter, V. Chr.	R-10	(850) 717-5010	elizabeth.porter@myfloridahouse.gov
Ben Albritton	R-56	(850) 717-5056	ben.albritton@myfloridahouse.gov
Kamia Brown	D-45	(850) 717-5045	Kamia.Brown@myfloridahouse.gov
Cord Byrd	R-11	(850) 717-5011	cord.byrd@myfloridahouse.gov
Chuck Clemons	R-21	(850) 717-5021	Chuck.Clemons@myfloridahouse.gov
Ben Diamond	D-68	(850) 717-5068	Ben.Diamond@myfloridahouse.gov
Byron Donalds	R-80	(850) 717-5080	Byron.Donalds@myfloridahouse.gov
Katie Edwards	D-98	(850) 717-5098	Katie.Edwards@myfloridahouse.gov
Patrick Henry	D-26	(850) 717-5026	Patrick.Henry@myfloridahouse.gov
Stan McClain	R-23	850) 717-5023	Stan.McClain@myfloridahouse.gov
Jake Raburn	R-57	(850) 717-5057	Jake.Raburn@myfloridahouse.gov
Holly Raschein	R-120	(850) 717-5120	Holly.Raschein@myfloridahouse.gov
Rick Roth	R-85	(850) 717-5085	Rick.Roth@myfloridahouse.gov
Emily Slosberg	D-91	(850) 717-5091	Emily.Slosberg@myfloridahouse.gov

You can also use the League's Contact Your Legislator advocacy tool to e-mail your legislators.

Should you have any questions, please contact: Casey Cook at ccook@flcities.com or 850-228-8559 (cell).

Thank you for your advocacy efforts!

Code Enforcement 2017Actvity
As of 3/14/2017

	Open	Closed	Total	Increase
Unlawful Accumulation	47	3	50	4
Substandard Structure	12		12	
Abandoned Vechicle	4	1	5	
Unlawful Sewer				
Land regulation Violation	1		1	
Business Lic. Violation	0			
Special Master Hearings				
Building Demolition	4	1	5	
Waste Violation	13	62	75	2
Sign Violation		64	64	3
Total	81	131	212	9