

August 18, 2020
Regular Meeting
12:00 Noon
App- Zoom
Phone #1-646-876-9923
Meeting ID: 857 6254 8090
Password: 672642



City of Port St. Joe

Rex Buzzett, Mayor-Commissioner
Eric Langston, Commissioner, Group I
David Ashbrook, Commissioner, Group II
Brett Lowry, Commissioner, Group III
Scott Hoffman, Commissioner, Group IV

[All persons are invited to attend these meetings. Any person who decides to appeal any decision made by the Commission with respect to any matter considered at said meeting will need a record of the proceedings, and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The Board of City Commission of the City of Port St. Joe, Florida will not provide a verbatim record of this meeting.]

BOARD OF CITY COMMISSION

Regular Public Meeting

12:00 Noon

App- Zoom

Phone # 1-646-876-9923

Meeting ID: 857 6254 8090

Password: 672642

Tuesday August 18, 2020

Call to Order

Consent Agenda

Minutes

- Regular Meeting 8/4/20
- Workshop 8/6/20
- Workshop 8/11/20

Pages 1-4

Page 5

Page 6

City Attorney

- Update

Old Business

- Coronavirus (COVID-19) Update
 - Resolution 2020-02 - State of Emergency, Currently Still in Place
 - Emergency Mask Ordinance
- Census 2020 Contact Info. - 2020census.gov or 844-330-2020

New Business

- CDBG Grant Modification, Request #1- Bruce Ballister
- Platt Approval- High & Tight Too LL
- Development Order Request- Gateway Phase II
Paces Foundation
- HESI/Transocean Settlement Agreement
- State Revolving Fund Amendment

Pages 7-15

Pages 16-34

Pages 35

Pages 36-49

Public Works

-

Surface Water Plant

- Update

Wastewater Plant

- Update

Finance Director

- FEMA Update
- Budget Update

City Engineer

- **NRDA Grant- Update**
- **Walking Path FDOT Grant- Update**
- **CDBG Grant- Update**
- **Garrison Ave. SCOP Grant- Update**
- **First Street Lift Station and Long Ave.- Update**
- **Commercial District- Water/Sewer Grant Application**

Code Enforcement

- **Richard Robinson Property**

Police Department

- **Police Chief Position**

City Clerk

- **Update**

Citizens to be Heard**Discussion Items by Commissioners****Motion to Adjourn**

**MINUTES OF THE REGULAR MEETING OF THE BOARD OF CITY
COMMISSIONERS FOR THE CITY OF PORT ST. JOE, FLORIDA, HELD AT
2775 GARRISON AVENUE, August 4, 2020, at Noon.
Teleconference as allowed under Executive Order 20-69; App – ZOOM;
Phone 1-646-876-9923, Meeting ID: 88377314750; Password 499746**

The following were present: Mayor Buzzett, Commissioners Hoffman, and Langston. City Manager Jim Anderson, City Clerk Charlotte Pierce, City Attorney Clinton McCahill, and Administrative Assistant Brie Scheibe were also present. Commissioner Ashbrook participated by Zoom and Commissioner Lowry was absent.

CONSENT AGENDA

Minutes

A Motion was made by Commissioner Hoffman, second by Commissioner Lowry, to approve the Minutes of the Regular Meeting on July 21, 2020. All in favor; Motion carried 4-0.

City Attorney –

Attorney McCahill did not have any specific updates for the Commission.

Old Business –

Coronavirus (COVID-19) Update – Resolution 2020-02 – State of Emergency Still in Place

Emergency Mask Order

A draft of the Ordinance was provided for the Commissioners to review.

Commissioner Langston shared that he would like to see the business owners step up and help with the situation by wearing masks.

Commissioner Hoffman noted the duty of the Commission is to safe-guard the citizens, he supports wearing the masks, and relies on data provided by knowledgeable institutions before making a decision. He noted that 80% of those replying to the City's mask order support the wearing of a mask.

Commissioner Ashbrook stated that he had clipped his mask to his sun shades and that way he has a mask with him at all times.

2020 Census – City Manager, Jim Anderson, stated that numbers for Gulf County are still very low and he encouraged everyone to contact the Census and be counted. You may contact the Census Bureau by either social media at 2020census.gov or by calling 844-330-2020. Enumerator training is being held in Port St. Joe for workers prior to them going door to door.

New Business –

RFP 2020-06 CDBG Grant Bid Results

Grant Update

A Motion was made by Commissioner Hoffman, second by Commissioner Langston, to recommend awarding the contract, pending DEO approval, to Gulf Coast Underground LLC in the amount of \$448,925.76. All in favor; Motion carried 4-0.

Engineering Task Order

A Motion was made by Commissioner Langston, second by Commissioner Ashbrook, to approve, pending DEO approval, a Task Order to Dewberry for Design, Bidding, and CEI Services in the amount of \$25,000. All in favor; Motion carried 4-0.

Public Works – John Grantland

Canopy Quotes

A Motion was made by Commissioner Langston, second by Commissioner Ashbrook, to purchase the canopy from Bliss Products and Services Inc, in the amount of \$6,897.00 for Forest Hill Cemetery. All in favor; Motion carried 4-0.

RFP 2020-07 Palm Blvd. Pedestrian Bridge

A Motion was made by Commissioner Ashbrook, second by Commissioner Langston, to award the contract to Ravens Marine in the amount of \$22,895. All in favor; Motion carried 4-0.

RFP 2020-08 Long Avenue Pedestrian Bridge

A Motion was made by Commissioner Hoffman, second by Commissioner Langston, to award the contract to Ravens Marine in the amount of \$22,895. All in favor; Motion carried 4-0.

RFP 2020-09 BGL Mid Pedestrian Bridge

A Motion was made by Commissioner Hoffman, second by Commissioner Langston, to award the contract to Ravens Marine in the amount of \$25,936. All in favor; Motion carried 4-0.

RFP 2020-10 BGL 20th Street Pedestrian Bridge

No action was taken on this item.

A Motion was made by Commissioner Hoffman, second by Commissioner Ashbrook, to approve Jason White Construction LLC to do the bridge foundation work for each bridge at the cost of \$3,000 per bridge. All in favor; Motion carried 4-0.

Surface Water Plant – Larry McClamma participated by Zoom.

Mr. McClamma shared that work in continuing on the Tenth Street Water Tower. He anticipates the work will be completed by Wednesday of next week and the costs are covered by the maintenance agreement.

Wastewater Plant –

In the absence of Mr. Pettis, Mr. Anderson shared that there is no spraying this month, maintenance is being done, and there is approximately 4' of clearance in the pond.

Finance Director – Mike Lacour

FEMA Update

Most projects are in FEMA's court; Buck Griffin Lake is not complete; the payroll / salary part of the \$418,000 bill has been resolved and Mr. Lacour continues to work on the Equipment / Material side of it.

Budget Update

A Project List was provided to the Commissioners that includes the DRA Projects that we will be discussing at Thursday's Budget Meeting.

Boat Launch Revenue

Drafts of the new signage have been reviewed, and Mr. Lacour is firming up two quotes for vending machines to collected fees.

Mr. Lacour shared that the average attendance at the STAC House was 30 students in the mornings and a smaller average for the older students attending in the afternoon.

City Engineer – Josh Baxley

NRDA Grant Update

A conference was held with Northwest FL Water Management District and the FL Department of Environmental Protection on additional comments. More information has been requested, response time will be 30 – 45 days, and a follow up Zoom conference call will be held.

The City Master Plan is still being inventoried and Mr. Baxley anticipates this will be completed in several weeks.

Walking Path FDOT Grant Update

The information has been provided to the County and the bid advertisement for the project has been submitted to the paper.

CDBG Grant Update

This was addressed previously in today's meeting.

First Street Lift Station and Long Avenue Update

There has been no change in this. Mr. Baxley is still waiting to hear if this project will be heard in an August meeting.

Commercial District – Water / Sewer TRIUMP Grant Application

The Task Order has been submitted to Churchwell and the sewer line videoing will begin next week.

Garrison Avenue Phase II

There is a Pre-construction Meeting scheduled for August 12, 2020.

Frank Pate Park Gazebo (City Pier)

The Notice of Award has been given to the contractor and Mr. Baxley is waiting to receive his Bonds and Insurance Coverage.

Mayor Buzzett shared that there is a meeting tomorrow to discuss the piping of the ditch that parallels Miss Zola's Drive and the ditch next to the TDC Building.

Marvin Davis asked about the MLK infrastructure line. Mayor Buzzett noted that the 6" water line was replaced about 5 years ago. Mr. Anderson stated that Stantec is working on the Overlay District and he has a draft to amend the Land Regulations for it.

Code Enforcement –

Mr. Anderson shared that RFPs have been advertised to resolve uncorrected violations that have been heard by the Special Magistrate on our Facebook Page, the City's Website, and in the Star. Additional hearings have been scheduled and one property has already been taken care of before a hearing.

Police Department – Lt. Jake Richards

Office Furniture – Request to purchase State Contract

A Motion was made by Commissioner Ashbrook, second by Commissioner Langston, to approve purchasing the equipment for \$23,904.54 on state bid from Hi Touch Business Services. All in favor; Motion carried 4-0.

City Clerk – Charlotte Pierce

Clerk Pierce shared that work is being done on the Hurricane Michael National Park Subgrants for the Centennial Building and Cape San Blas Lighthouse Complex.

Citizens to be Heard –

Jason Tunnell, BCC, shared the progress he has made on cleaning up the Transfer Station Site. He noted that Waste Pro has removed their equipment from the site. A discussion was held about BCC leasing the 3.2 acres owned by the City.

A Motion was made by Commissioner Hoffman, second by Commissioner Ashbrook, to lease the 3.2 acres owned by the City to BCC for a cost of \$1,000 per month to run concurrently with the current contract that will end in 2024. The start date of this lease will be August 1, 2020, and the first 4 months of payment will be waived to offset the cost BCC has paid for cleanup of the site. All in favor; Motion carried 4-0.

Commissioners Hoffman, Langston, and Ashbrook thanked Mr. Tunnell for the improvements that have been made in picking up yard debris and his efforts to resolve this issue.

Marvin Davis asked why the COVID-19 numbers for Gulf County Department of Corrections facilities were being removed from the county count. It was explained that the inmates are already quarantined.

Discussion Items by Commissioners –

Commissioner Ashbrook stated he was content and did not have anything else to discuss.

Commissioner Langston reminded the Commissioners that we need to prepare for hurricane season, and have some guidelines. He shared that he was praying for the families effected by COVID-19.

Commissioner Hoffman did not have any other items to discuss.

Mayor Buzzett encouraged the Commissioners to keep hurricane preparedness in mind. He also asked Mr. Grantland about the possibility of using some of the solar panel poles on the walking path in other locations.

Motion to Adjourn –

There was no other business to come before the Commission and Mayor Buzzett adjourned the meeting at 1:05 P.M.

Approved this _____ day of _____ 2020.

Rex Buzzett, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

MINUTES OF THE FY 2020 – 2021 BUDGET WORKSHOP FOR THE BOARD OF CITY COMMISSIONERS FOR THE CITY OF PORT ST. JOE FLORIDA, HELD IN THE COMMISSION CHAMBERS, 2775 GARRISON AVENUE, August 6, 2020 AT 12 Noon. Teleconference as allowed under Executive Order 20-69; App – ZOOM; Phone 1-646-876-9923, Meeting ID: 85155206164; Password 704873.

The following were present: Mayor Buzzett, Commissioners Ashbrook, Hoffman, and Langston. City Manager Jim Anderson, City Clerk Charlotte Pierce, Financial Director Mike Lacour, and Administrative Assistant Brie Schiebe were also present. Commissioner Lowry and Attorney McCahill were absent.

The purpose of the Workshop was to review the General Fund and project list for the FY 2020 – 2021 Budget.

It was noted that the original boundary of the Port St. Joe Redevelopment Association (PSJRA) sunsets in September, but the expanded boundary will remain in place. Bill Kennedy is to provide a Summary Sheet for expenses from the PSJRA.

Mr. Anderson noted that the \$200,000 loan to the Port St. Joe Port Authority will be due in May, 2021.

It was suggested to remove the George Core Park Splash Pad and Stage from the budget to allow for funds in other areas; include Williams Avenue and several side streets for paving, and Mayor Buzzett asked that a Paving Line Item be added to the budget.

After discussion, consensus was for Mr. Lacour to adjust the General Fund Budget to reflect 1 pier for Clifford Sims Park; remove Frank Pate Park Gazebo (City Pier) from the priority list and create a place holder for the Washington Gym. Projects covered by insurance are to be funded from their respective amounts.

Linda Tschudi shared her thoughts about sewer issues at her residence.

The next Workshop will be on Tuesday, August 11, 2020 at Noon.

Mayor Buzzett adjourned the Workshop at 1:40 P.M.

Approved this ____ day of _____ 2019.

Rex Buzzett, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

MINUTES OF THE FY 2020 – 2021 BUDGET WORKSHOP FOR THE BOARD OF CITY COMMISSIONERS FOR THE CITY OF PORT ST. JOE FLORIDA, HELD IN THE COMMISSION CHAMBERS, 2775 GARRISON AVENUE, August 11, 2020, AT 12 Noon. Teleconference as allowed under Executive Order 20-69; App – ZOOM; Phone 1-646-876-9923, Meeting ID: 81316157855; Password 509563

The following were present: Mayor Buzzett, Commissioners Ashbrook, Hoffman, Langston, and Lowry. City Manager Jim Anderson, City Clerk Charlotte Pierce, Financial Director Mike Lacour, Administrative Assistant Brie Schiebe, Lt. Jake Richards, Public Works Director John Grantland, Surface Water Treatment Plant Superintendent Larry McClamma, and Wastewater Treatment Plant Superintendent Kevin Pettis were also present.

The purpose of the Workshop was to review the Utility rates and Enterprise Funds.

Discussion was held concerning a Recreation Director and Project Manager. Mr. Lacour will provide funding information on this at the next Workshop.

A 2% rate increase has been suggested by the Rate Study Team on Water and Sewer Rates for years 1-5 and 3% for years 6 -10. The total cost per customer should be approximately \$1.20 per month to implement the increase for the average user.

Commissioner Hoffman would like for the City to consider offering a stipend to those eligible for Medicare or could be covered on their spouse's insurance. This would reduce the City's insurance cost. He also wants the Commission to consider a splint in insurance premiums so that neither the City or employee would assume the entire cost of an increase in premium

Any rate increase from BCC will need to be passed on to the customer.

Eugene Raffield, representing Raffield's Fisheries, asked that the City consider a partnership that would allow Raffield's to utilize the 2 unused clarifiers at the Wastewater plant to grow oysters. Mr. Raffield asked that the City get the tanks permitted for this use, secure funds from the Triumph Grants or use BP money for this project. Marketable oysters would be grown in one clarifier and spats in the other.

The next Workshop will be on Tuesday, August 18, 2020, at Noon.

Mayor Buzzett adjourned the Workshop at 1:25 P.M.

Approved this _____ day of _____ 2019.

Rex Buzzett, Mayor

Date

Charlotte M. Pierce, City Clerk

Date

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL

1. ☒ Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.
** Setbacks are measured from the closest overhang to property line**

A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. ☒ Development Order Packet 21 Lot subdivision under Myers Park PUD
3. ☐ New Address application
4. ☐ Complete City water meter impact form
5. ☐ Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address Parcel ID # 03072-002R

Lot Square Footage: _____ Dwelling Square Footage: _____

Driveway Square Footage: _____ Accessory Building Square Footage: _____

Pool Square Footage: _____ Patio/Deck Square Footage: _____

Setbacks: Front: _____ Left Side: _____

Rear: _____ Right Side: _____

Floor Area Ratio: _____ Lot Coverage: _____

Building Height in Feet: _____ Impervious Surface: _____

Landscape Buffers: (height x width) _____ Elevation: _____
HIGH AND TIGHT TOO L.L.C.

Applicant Name Ralph Pish 1887 SR 30A 830-227-5137
Applicant Address Port St. Joe, IN 46784 Phone Number

Applicant Signature DRP Date 7-1-20

State of Florida

Department of State

I certify from the records of this office that HIGH AND TIGHT TOO LLC, is a limited liability company organized under the laws of the State of Florida, filed electronically on June 15, 2020, effective June 11, 2020.

The document number of this company is L20000164888.

I further certify that said company has paid all fees due this office through December 31, 2020, and its status is active.

I further certify that this is an electronically transmitted certificate authorized by section 15.16, Florida Statutes, and authenticated by the code noted below.

Authentication Code: 200620090845-800345992688#1

Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this the
Twentieth day of June, 2020

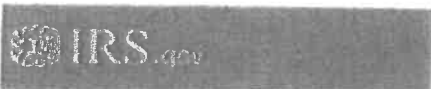


A handwritten signature in dark ink, appearing to read "Laurel M. Lee".

Laurel M. Lee
Secretary of State

6/24/2020

EIN Individual Request - Online Application



EIN Assistant

1 Your Program 2 Identity 3 Assignment 4 Review 5 Action 6 E-mail 7 EIN Confirmation

Congratulations! The EIN has been successfully assigned.

EIN Assigned: 98-1881575

Legal Name: HEN AND TIGHT TGD LLC

The confirmation letter will be mailed to the applicant. This letter will be the applicant's official IRS notice and will contain important information regarding the EIN. Allow up to 4 weeks for the letter to arrive by mail.

We strongly recommend you print this page for your records.

Click "Continue" to get additional information about using the new EIN.

[Continue >>](#)

Help Topics

- 1 Can the EIN be used before the confirmation letter is received?

PUBLIC NOTICE

**RE: Subdivision within Myers Park PUD - 21 Lots
Parcel: 03072-002R**

This letter is to inform you that Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, Tuesday, August 4th, 2020, at 4:00 P.M. EST and at the Regular City Commission Meeting on Tuesday, August 18th, 2020, at 12:00 P.M. EST at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

**PRELIMINARY PLAT APPROVAL OF SUMMER PINES
SUBDIVIDING A PORTION OF SECTION 19, TOWNSHIP 8 SOUTH, R 10 WEST
PARCEL 03072-002R
21 Lots within Myers Park PU**

Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning and Development Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and can be reached for questions at (850) 229-1093 from 8 A. M. 4 P.M. EDST, Monday through Friday.

Thank you,

**Kelly Simpson
EPCI Code Administration Services
City of Port St. Joe Building Department**

03072-000R
ST JOSEPH LAND & DEV CO
ATTN: TAX DEPARTMENT
133 SOUTH WATERSOUND PRKWY
WATERSOUND, FL 32461

03072-001R
ST JOSEPH LAND & DEV CO
ATTN: TAX DEPARTMENT
133 SOUTH WATERSOUND PRKWY
WATERSOUND, FL 32461

03072-002R
ST JOSEPH LAND & DEV CO
ATTN: TAX DEPARTMENT
133 SOUTH WATERSOUND PRKWY
WATERSOUND, FL 32461

03072-015R
LIGHTHOUSE UTILITIES COMPANY
PO BOX 428
PORT ST JOE, FL 32457

03072-105R
HALL RODNEY & JANICE
PO BOX 182
PORT ST JOE, FL 32457

03072-110R
KANDZER BRETT & SARA
PO BOX 340
WESTVILLE, FL 32464

03072-115R
THURSBY JOHNATHAN & LEIGHA
1309 WOODWARD AVE
PORT ST JOE, FL 32456

03072-120R
HAVEN LINDA SU
105 TYLER TERRACE
PORT ST JOE, FL 32456

03072-125R
RUSSELL CAROL WINSTON
223 EAST LAKESIDE DRIVE
HATTIESBURG, MS 39402

03072-130R
JAMES JOSHUA T & RACHEL BIXLER
2022 MARVIN AVE
PORT ST JOE, FL 32456

03072-135R
JAMES JOSHUA T & RACHEL BIXLER
2022 MARVIN AVE
PORT ST JOE, FL 32456

03072-140R
JONES JONATHAN & RACHELL
PO BOX 924
PORT ST JOE, FL 32457

03072-145R
JONES JONATHAN & RACHELL
PO BOX 924
PORT ST JOE, FL 32457

03072-150R
JONES JONATHAN & RACHELL
PO BOX 924
PORT ST JOE, FL 32457

03072-155R
SMILEY STACIE M
5119 SR 30-A
PORT ST JOE, FL 32456

03072-160R
THOMAS ROGER A & KATHY S
PO BOX 584
PORT ST JOE, FL 32457

03072-165R
BRAICA LEWIS W JR & ELLEN M
254 WEST MOURNING DOVE CT
MONTICELLO, GA 31064

03072-170R
BAXLEY EDWIN F & LAURA J
116 CRANE DR
PORT ST JOE, FL 32456

03072-175R
FLOYD JOHN PATRICK & VIVIAN H
PO BOX 950
PORT ST JOE, FL 32457

03072-180R
FOREHAND KELLY & LISA
PO BOX 505
PORT ST JOE, FL 32457

03072-185R
WRIGHT FREDDIE & CYNTHIA
674 MINNIE WAY
BOWLING GREEN, KY 42101

03101-050R
BROWN KRISTEN
1924 CR C-30
PORT ST JOE, FL 32456

03101-060R
TULLIS EDWARD & DORIS L
PO BOX 1004
PORT ST JOE, FL 32457-1004

03102-000R
WILLIAMS LONNIE R & DEBBIE A
678 JONES HOMESTEAD RD
PORT ST JOE, FL 32456

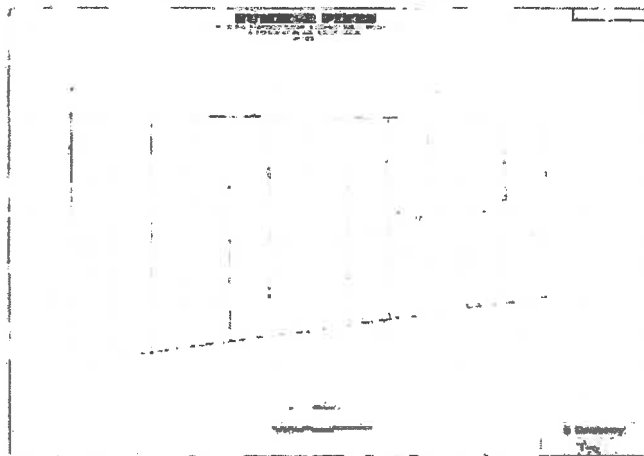
03102-050R
BAILEY EMORY & BETTY
674 JONES HOMESTEAD RD
PORT ST JOE, FL 32456

03109-000R
DARVILL STEVE F & LINDA S
1582 SCOTT'S BOTTOM ROAD
BURKESVILLE, KY 42717

PUBLIC NOTICE

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R 10 WEST
PARCEL 03072-002R
21 Lots within Myers Park PUD**



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In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850)229-8261

NF-11098099

☐ PROOF O.K. BY: _____ ☐ O.K. WITH CORRECTIONS BY: _____

PLEASE READ CAREFULLY • SUBMIT CORRECTIONS ONLINE

NF-11098099 (100%)

ADVERTISER: EPCI

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SIZE: 3X7

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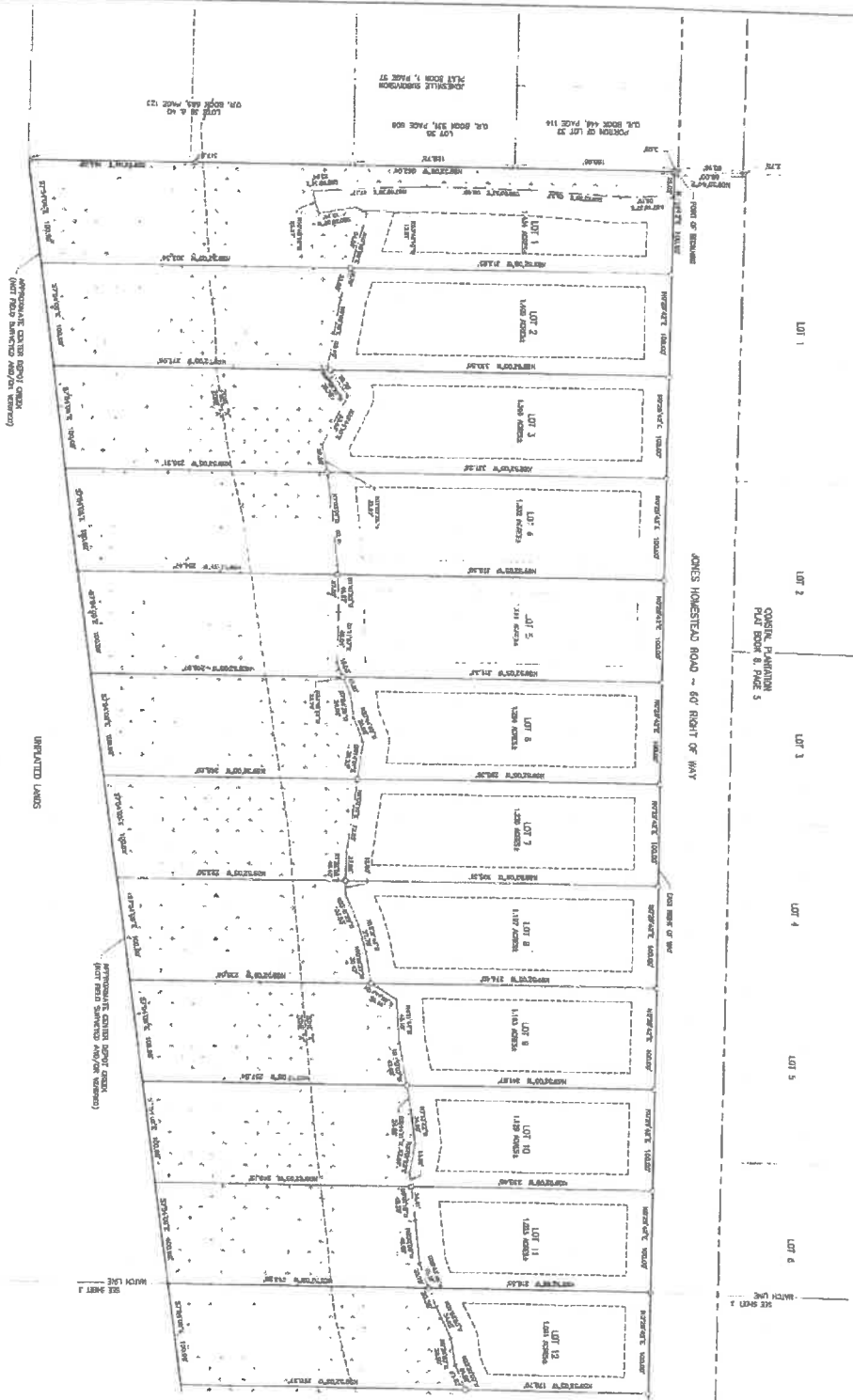
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NEXT RUN DATE: 07/16/20

PROOF DUE: 07/15/20 07:59:55

SUNRISE PINES
 A SUBDIVISION OF A PORTION OF SECTION 19 TOWNSHIP 8 SOUTH RANGE 10 WEST,
 CITY OF PORT ST. JOE, GULF COUNTY, FLORIDA
 JULY 2020

PLAT BOOK PAGE
 SHEET 2 OF 3



14

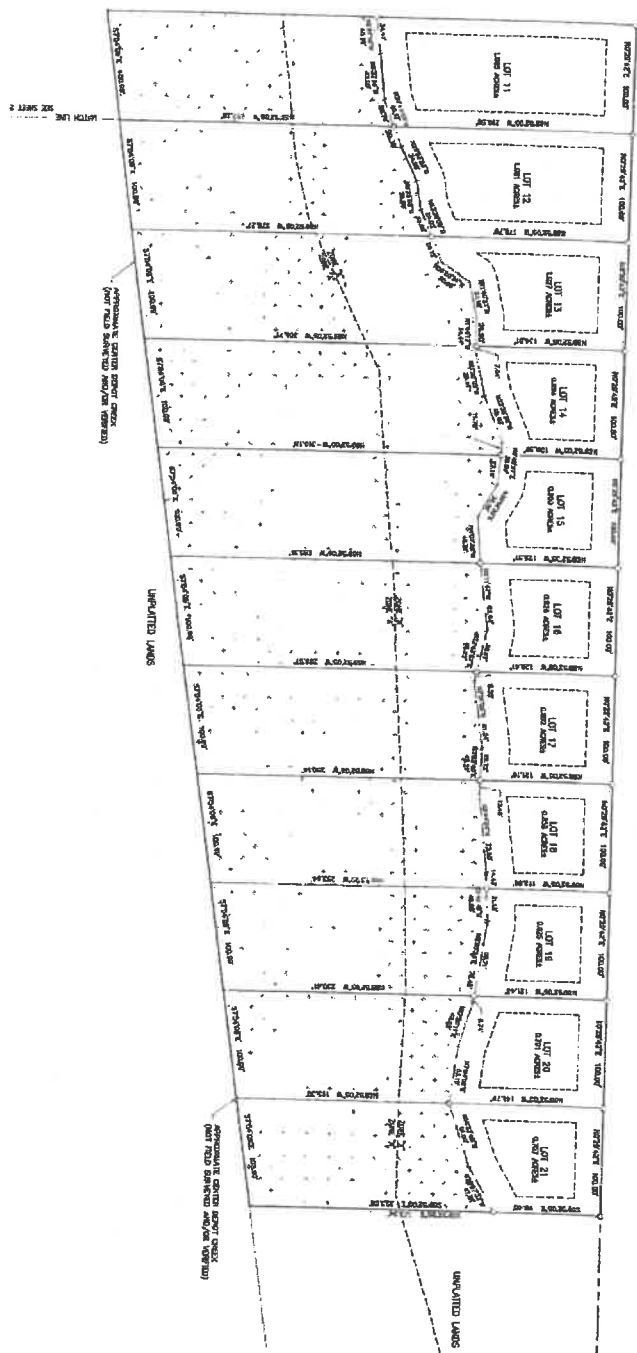
SUMMER PINES
 A SUBDIVISION OF A PORTION OF SECTION 16, TOWNSHIP 8 SOUTH, RANGE 10 WEST,
 CITY OF PORT ST. JOE, GULF COUNTY, FLORIDA
 JULY 2020

PLAT BOOK PAGE
 SHEET 3 OF 3

LOT 6
 LOT 7
 LOT 8
 LOT 9
 LOT 10
 LOT 11
 LOT 12
 LOT 13

CONCRETE PAVEMENT
 PLAT BOOK 2, PAGE 6

JONES HONESTY ROAD ~ 60' RIGHT OF WAY



Dewberry
 DEWBERRY ENGINEERING, INC.
 10000 N. W. 11th Avenue
 Fort Lauderdale, FL 33304
 (954) 576-1000
 www.dewberry.com

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. ☒ Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.

** Setbacks are measured from the closest overhang to property line**

A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. ☒ Development Order Packet
3. ☒ New Address application
4. ☐ Complete City water meter impact form
5. ☐ Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address 905-907 Clifford Sims Drive (Assumed)

8.75 ac (Original) + 5.00 ac (Phase 1A) = 13.75 ac (Total Phase 1)

Lot Square Footage: 8,448 (Original) Dwelling Square Footage: 54,388 (Gross) - Original
7,017 (Phase 1A) 32,082 (Gross) - Additional
15,465 (Total Phase 1) 86,480 (Gross) - Total

Driveway Square Footage: 0 Accessory Building Square Footage: 0

Pool Square Footage: 0 Patio/Deck Square Footage: 0

Setbacks: Front: 15' Left Side: 10'

Rear: 15' Right Side: 10'

Floor Area Ratio: 0.15 (Original) Lot Coverage: 0.23 (Original)
0.15 (Phase 1A) 0.15 (Phase 1A) → 0.20 (Total Phase 1)
0.15 (Total Phase 1)

Building Height in Feet: 28' to eave Impervious Surface: 86,680 (Original)
32,741 (Phase 1A)
119,431 (Total Phase 1)

Landscape Buffers: (height x width) 0 Elevation: 22.00

W. Barry Dunlop
Florida PE#76951
Applicant Name

7 Dunwoody Park
Atlanta, GA 30338
Applicant Address

(770) 605-6030
bdunlop@paradigmeng.net
Phone Number

Applicant Signature

6/16/20
Date

PUBLIC NOTICE

**RE: 905-907 Clifford Sims Gateway Apartments
Parcel: 04585-300R**

This letter is to inform you that Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, Tuesday, August 4th, 2020, at 4:00 P.M. EST and at the Regular City Commission Meeting on Tuesday, August 18th, 2020, at 12:00 P.M. EST at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

**Development Order for Gateway Apartments Phase 2: Third Building "1A"
Parcel #04585-300R, located at 905-907 Clifford Sims Drive.**

Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning and Development Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and can be reached for questions at (850) 229-1093 from 8 A. M. – 4 P.M. EDST, Monday through Friday.

Thank you,

**Kelly Simpson
EPCI Code Administration Services
City of Port St. Joe Building Department**

ParcelId	OwnerName	OwnerAddress1
04573-000R	APALACHICOLA NORTHERN RR	133 SOUTH WATERSOUND PKWY
06028-000R	THOMAS ROBERT J	802 CLIFFORD SIMS DR
06028-001R	JENKINS JOHNNY JR & SHIRLEY	116 BROAD ST
06029-000R	HILL LINDA L & ERIN S	PO BOX 668
06029-001R	CHAMBERS DARIUS F & ANTIONETTE	904 CLIFFORD SIMS DRIVE
04587-001R	RC SAN BLAS MANAGER LLC	5150 BLUE YARROW RUN
06043-000R	BRYANT GEORGE III & SHIRLEY	119 APOLLO ST
06044-005R	CURTIS CORA L	1004 CLIFFORD SIMS DR
06027-000R	SHACKLEFORD ANN M	121 N BAY ST
06027-001R	TAYLOR CHRISTINE P	PO BOX 1129
04585-200R	RATLIFF CLAIRE J	307 JENRY DRIVE
04585-300R	PACES FOUNDATION INC	2730 CUMBERLAND BLVD
04585-099R	THE ST JOE COMPANY	ATTN: TAX DEPARTMENT
04585-305R	GATEWAY TOWNHOMES OF ST. JOE,	LLC
07300-001M	GRAY LAUREN DIR. OF FINANCE	AN RAILWAY LLC
04585-000R	THE ST JOE COMPANY	ATTN: TAX DEPARTMENT
04591-013R	APALACHICOLA NORTHERN RR	133 SOUTH WATERSOUND PKWY

OwnerAddress2

133 SOUTH WATERSOUND PARKWAY
2730 CUMBERLAND BOULEVARD
13901 SUTTON PARK DRIVE S SUITE 175 BUILDING C
133 SOUTH WATERSOUND PARKWAY

OwnerAddress3 OwnerCityStZip

WATERSOUND, FL 32413
PORT ST JOE, FL 32456
PORT ST JOE, FL 32456-1430
PORT ST JOE, FL 32457-0668
PORT ST JOE, FL 32456
NORCROSS, GA 30092
PORT ST JOE, FL 32456-1409
PORT ST. JOE, FL 32456
PORT ST JOE, FL 32456-1431
PORT ST JOE, FL 32457-1129
NASHVILLE, TN 37214
SMYRNA, GA 30080
WATERSOUND, FL 32461
SMYRNA, GA 30080
JACKSONVILLE, FL 32224
WATERSOUND, FL 32461
WATERSOUND, FL 32413

ParcelId	OwnerName	Address	City	State
04573-000R	CURRENT RESIDENT	N/A	PORT ST JOE	FL
06028-000R	CURRENT RESIDENT	802 CLIFFORD SIMS DR	PORT ST JOE	FL
06028-001R	CURRENT RESIDENT	116 BROAD ST	PORT ST JOE	FL
06029-000R	CURRENT RESIDENT	BROAD ST	PORT ST JOE	FL
06029-001R	CURRENT RESIDENT	904 CLIFFORD SIMS DR	PORT ST JOE	FL
04587-001R	CURRENT RESIDENT	BAY ST	PORT ST JOE	FL
06043-000R	CURRENT RESIDENT	119 APOLLO ST	PORT ST JOE	FL
06044-005R	CURRENT RESIDENT	1004 CLIFFORD SIMS DR	PORT ST JOE	FL
06027-000R	CURRENT RESIDENT	121 N BAY ST	PORT ST JOE	FL
06027-001R	CURRENT RESIDENT	706 CLIFFORD SIMS DR	PORT ST JOE	FL
04585-200R	CURRENT RESIDENT	701 CLIFFORD SIMS DR	PORT ST JOE	FL
04585-300R	CURRENT RESIDENT	CLIFFORD SIMS DR	PORT ST JOE	FL
04585-099R	CURRENT RESIDENT	CLIFFORD SIMS DR	PORT ST JOE	FL
04585-305R	CURRENT RESIDENT	905 CLIFFORD SIMS	PORT ST JOE	FL
07300-001M	CURRENT RESIDENT	N/A	PORT ST JOE	FL
04585-000R	CURRENT RESIDENT	N/A	PORT ST JOE	FL
04591-013R	CURRENT RESIDENT	AVENUE A	PORT ST JOE	FL

PUBLIC NOTICE

Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, Tuesday, August 4th, 2020, at 4:00 P.M. EST and at the Regular City Commission Meeting on Tuesday, August 18th, 2020, at 12:00 P.M. EST at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

**Development Order for Gateway Apartments Phase 2:
Third Building "1A"**

Parcel #04585-300R, located at 905-907 Clifford Sims Drive.

Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning and Development Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr., Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850)229-8261.

NO-11098095

☐ PROOF O.K. BY: _____

☐ O.K. WITH CORRECTIONS BY: _____

PLEASE READ CAREFULLY • SUBMIT CORRECTIONS ONLINE

NF-11098095 (100%)

ADVERTISER: EPCI

SALES PERSON: NF825

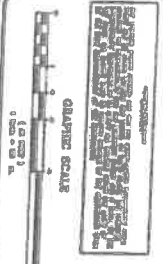
SIZE: 3X5

PUBLICATION: NF-ST JOE STAR

PROOF CREATED AT: 7/14/2020 11:08:56 AM

NEXT RUN DATE: 07/16/20

PROOF DUE: 07/15/20 07:59:55



HA

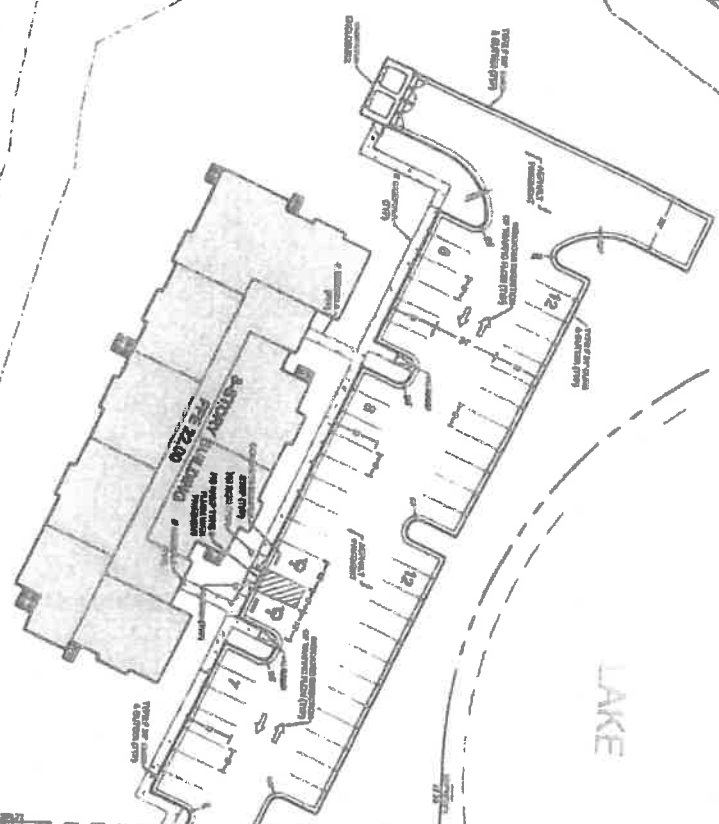
CLIFFORD SIMS DRIVE - 70' R/W

T-7-S, R-11-W

N89°43'28"W 454.47'

1/2" R/S

N89°43'28"W 483.60'



**20 SCALE SITE PLAN
GATEWAY PORT ST. JOE APARTMENTS
PHASE ONE ADDITIONAL UNITS**

CLIFFORD SIMS DRIVE
SECTION 10, TOWNSHIP 7 NORTH, RANGE 11 WEST
JULY 2007 AND JULY 2008 PLANNED

LandTec
Professional Engineering Services, Inc.
10000 N. 10th Ave., Suite 100
Phoenix, AZ 85020
PHX 505-555-1234

REVISIONS	
NO.	DESCRIPTION

Sheet 4 of 20

C2.1

DATE: 7/1/07

PROJECT: GATEWAY PORT ST. JOE APARTMENTS

SCALE: AS SHOWN

DRAWN: [Signature]

CHECKED: [Signature]

APPROVED: [Signature]

PORT ST. JOE 1A APARTMENTS
PORT ST. JOSEPH, FL

[illegible]

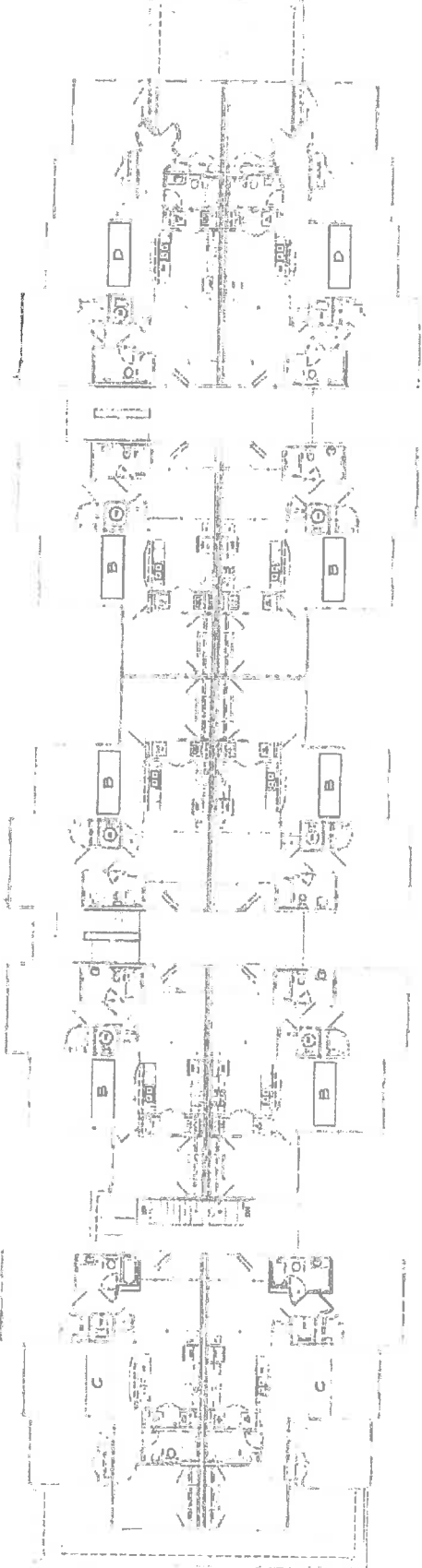
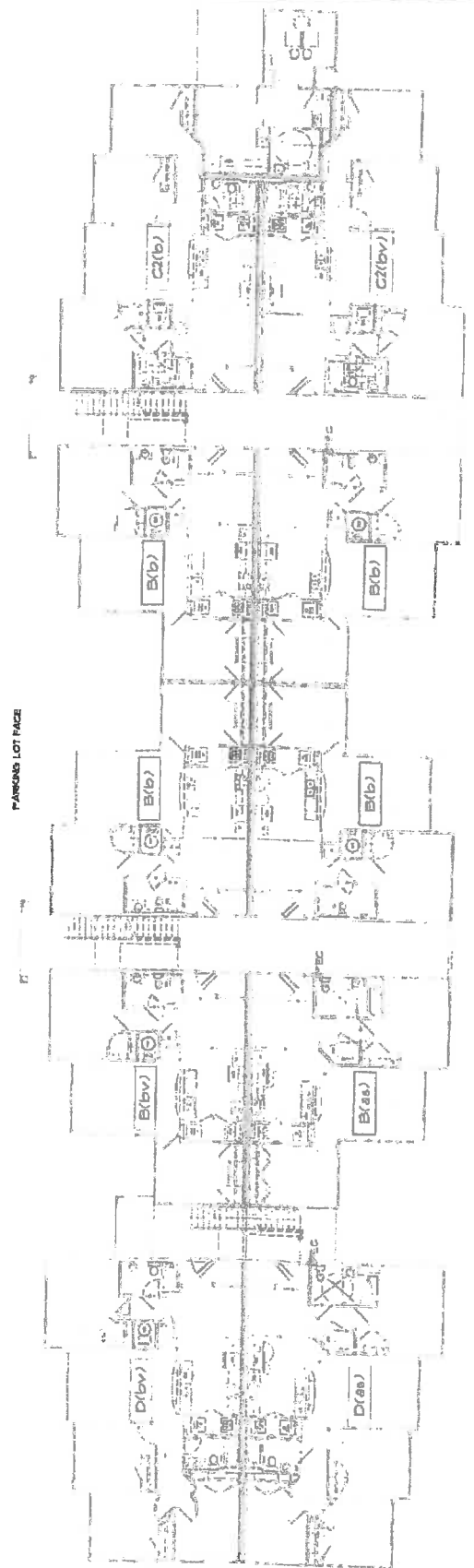
SCALE: 1/8" = 1'-0"

A101

NOT BE REPRODUCED FOR CONSTRUCTION

MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
 25 CHURCH STREET SUITE 200 DECATUR GEORGIA 30030-1125 404-771-2900
 GATEWAY FORT ST. JOE II
 FORT ST. JOE, FLORIDA

DATE	10-14-20
BY	10-14-20
CHKD BY	10-14-20
APP'D BY	10-14-20
DESIGNED BY	10-14-20
PROJECT NO.	10-14-20



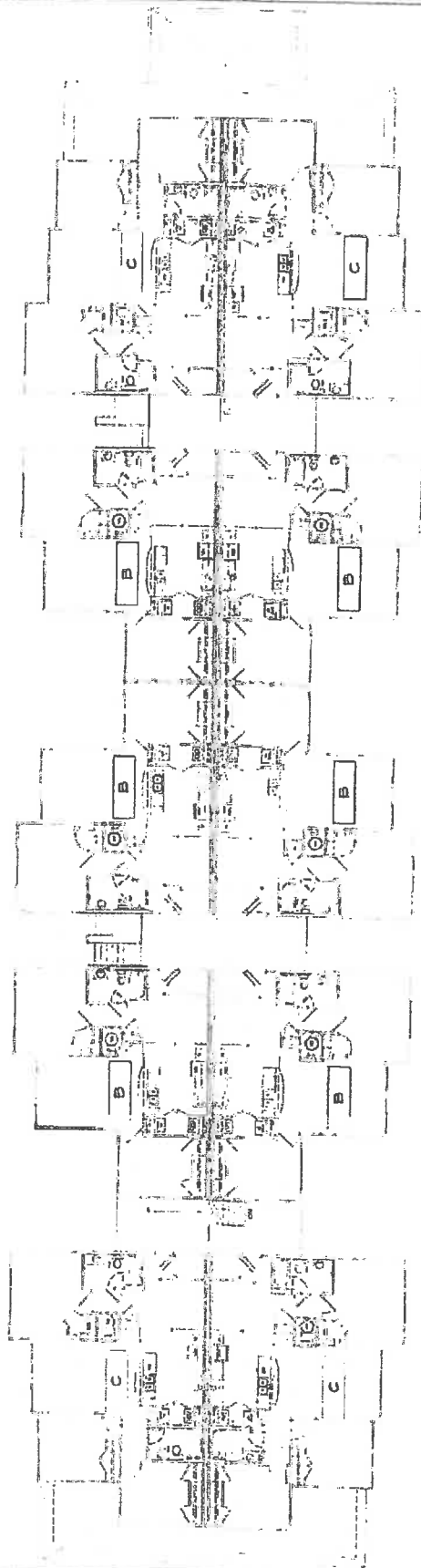
h2

23

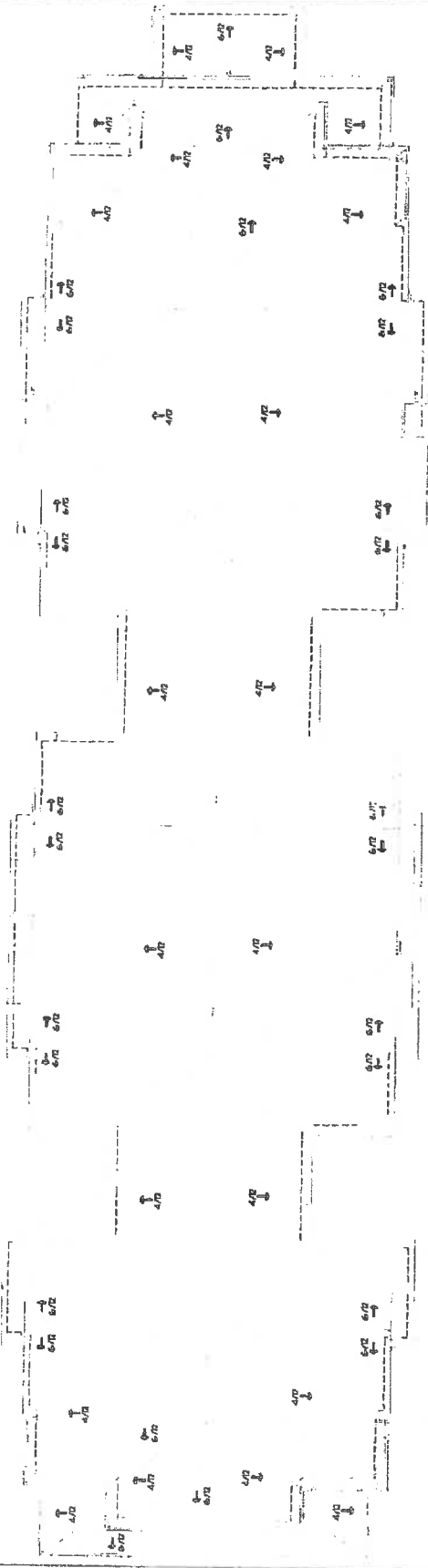
A102

SCALE: 1/8" = 1'-0"

3RD FLOOR BUILDING PLAN



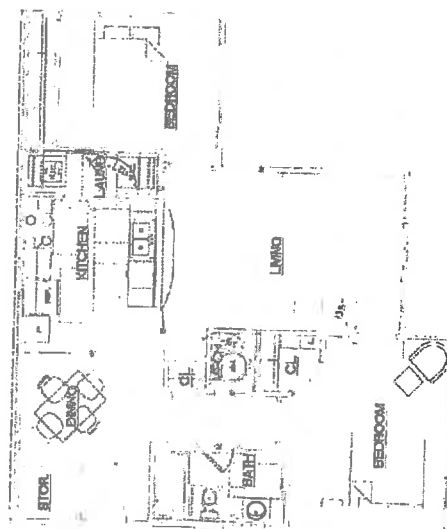
SCORVIEW PLAN



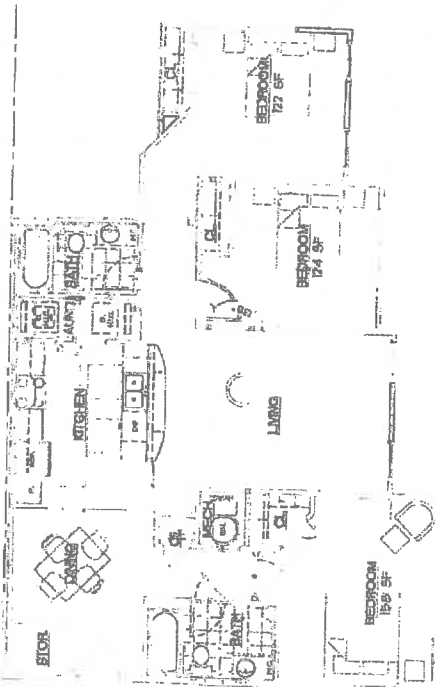
MARTIN RILEY ASSOCIATES - ARCHITECTS, P.C.
25 CHURCH STREET, SUITE 200 DECATUR, GEORGIA 30030 404-377-2100
GATEWAY PORT ST. JOE I
PORT ST. JOE, FLORIDA

DATE: 10/14/19
BY: JLG
CHECKED: JLG
DATE: 10/14/19
BY: JLG
CHECKED: JLG

NOT BE BASED FOR CONSTRUCTION



5 BEDROOM/2 BATHROOM FAIR HOUSING UNIT



D(b) 4 BEDROOM/2 BATHROOM FAIR HOUSING UNIT
UNIT 1409

3 C2(b) 3 BEDROOM/2 BATHROOM FAIR HOUSING UNIT
W 10' 0" D 10' 0"

PLOTTED BY: LETHA GUNEE - COPYRIGHT 2020

CONTRACTOR COMMENTS

1. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
2. THE CONTRACTOR AGREES TO BE RESPONSIBLE FOR THE CORRECTION OF ALL INFORMATION AND ANY INFORMATION THAT MAY BE OBTAINED FROM ANY SOURCE.
3. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
4. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
5. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
6. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
7. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
8. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.
9. THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.

1. ADVICE TO THE ARCHITECT AND THE PROJECT

1. EXCEPT FOR THE STRUCTURE AND SYSTEMS, THE CONTRACTOR AGREES TO CONSIDER ANY INFORMATION AS SUCH FROM ANY SOURCE (A) DATA AND WITHIN 24 HOURS AFTER A PRELIMINARY UNIT OF WORK HAS BEEN SET.

1. ADVICE TO THE ARCHITECT AND THE PROJECT

NOTES

1. BEFORE THE PROJECT BEGINS, THE CONTRACTOR SHALL OBTAIN FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A PERMIT TO CONDUCT ANY CONSTRUCTION ACTIVITIES.
2. THE CONTRACTOR SHALL OBTAIN FROM THE FDEP A PERMIT TO CONDUCT ANY CONSTRUCTION ACTIVITIES.
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9. THE CONTRACTOR SHALL OBTAIN FROM THE FDEP A PERMIT TO CONDUCT ANY CONSTRUCTION ACTIVITIES.

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THE CONTRACTOR SHALL OBTAIN FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A PERMIT TO CONDUCT ANY CONSTRUCTION ACTIVITIES.

EXCLUSION CONTROL LEGEND

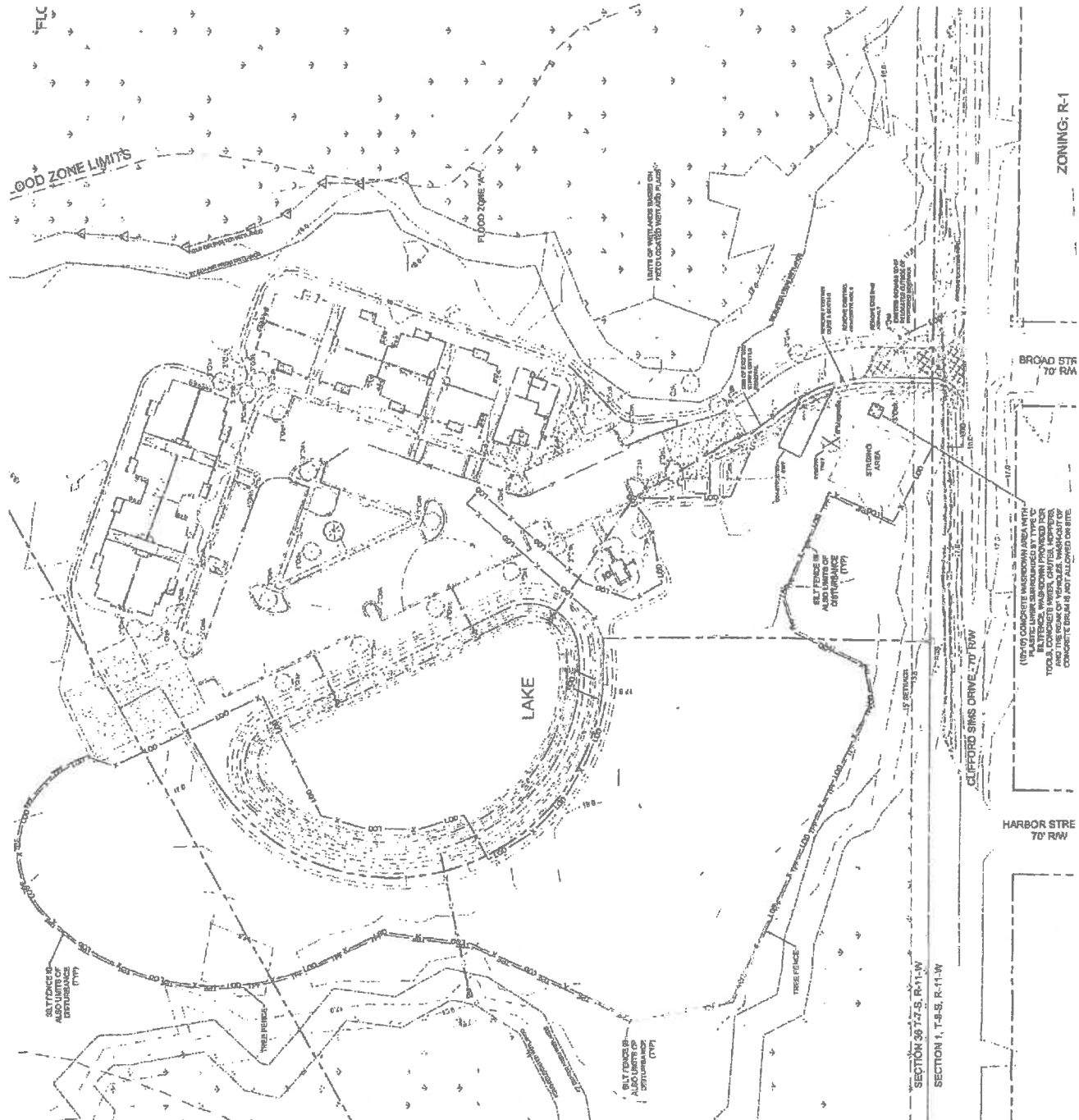
- VEHICLE TRACKING PNO
- LOD - X - LIGHTS OF DISTURBANCE
- LOD - X - LIGHTS OF DISTURBANCE
- LOD - X - LIGHTS OF DISTURBANCE
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- LOD - X - LIGHTS OF DISTURBANCE

CAUTION
THE CONTRACTOR SHALL OBTAIN FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) A PERMIT TO CONDUCT ANY CONSTRUCTION ACTIVITIES.

GRAPHIC SCALE

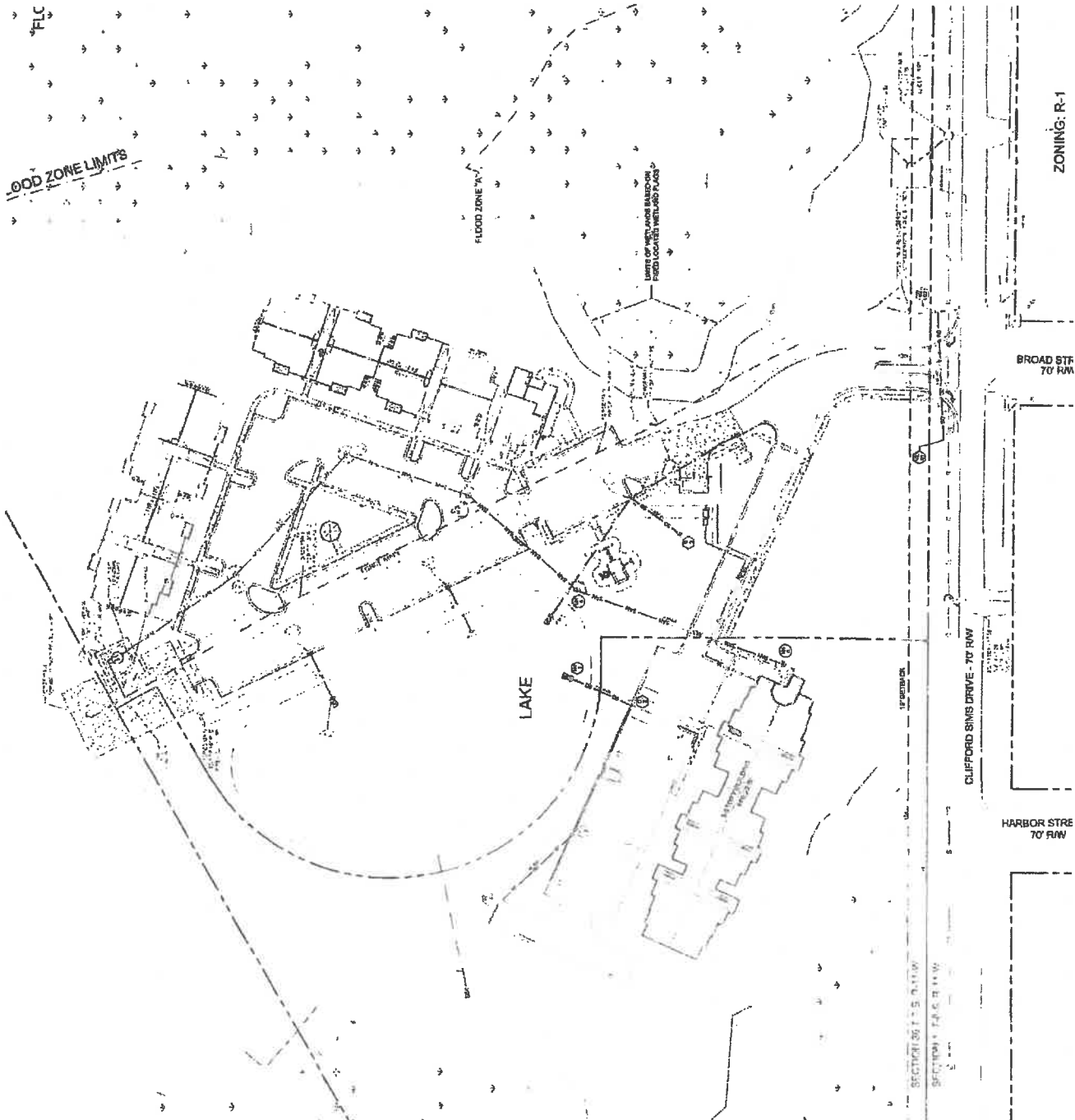


ZONING: R-1



SECTION 30.7.2-S, R-1-W

SECTION 1, T-5-B, R-1-W



Water Provided by:
City of Port St. Joe, FL
1001 E. Highway 98
Port St. Joe, FL
Phone: 850-229-3501

Water & Sewer Provided by:
City of Port St. Joe, FL
305 Chd Costin St. Blvd.
Port St. Joe, FL
Phone: 850-229-8281

WATER NOTES

1. All water lines, within public ROW, upon installation shall become the property of City of Port St. Joe, FL as indicated on plans.
2. All water lines shall be installed in accordance with the Florida State Water Code and the City of Port St. Joe, FL Water Ordinance.
3. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
4. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
5. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
6. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
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9. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
10. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
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12. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
13. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
14. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.
15. All water lines shall be installed in the street and shall be covered by a concrete curb and sidewalk.

GRAPHIC SCALE

1 inch = 40 feet



ZONING: R-1

BROAD ST 70' RW

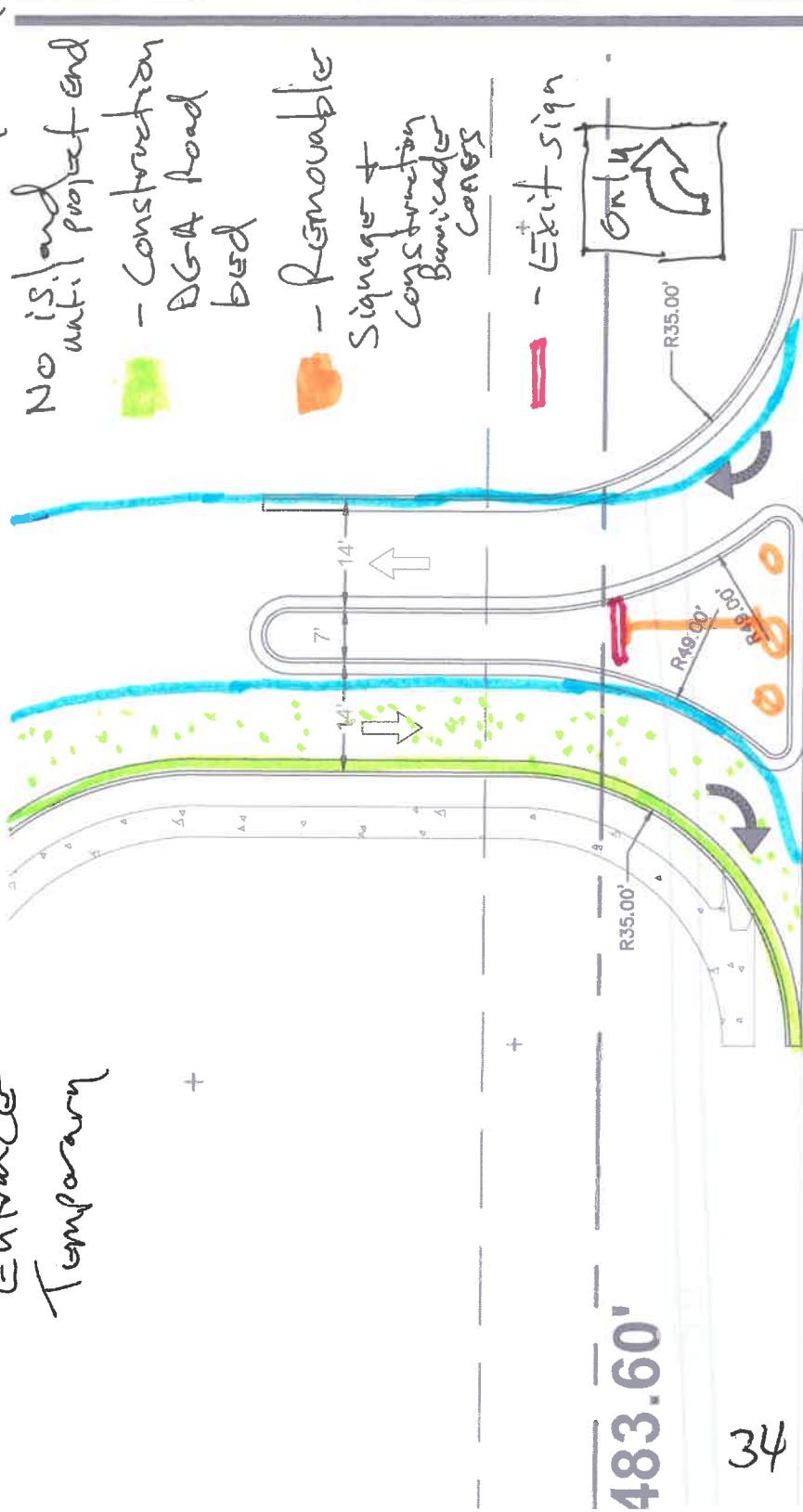
HARBOR ST 70' RW

CLIFFORDS DRIVE - 70' RW

SECTION 05.1 - 5.01.10.1

SECTION 05.1 - 5.01.10.2

Construction
Entrance
Temporary



483.60'

34

GA

SEAL:

WILLIAM B. DUNLOP
LICENSE
No. 7595

PROFESSIONAL ENGINEER
STATE OF FLORIDA

CC:
WBD

DRAWN:
LBF

DRAWING DATE:
7-9-19

CHECKED:
WBD

SCALE:
1" = 20'

PROJECT NUMBER:
P1708

SHEET NUMBER:

C2.1

Sheet 4 of 20

City of Port St. Joe
Deepwater Horizon Oil Spill
*HESI/Transocean Punitive Damages Claim – Settlement and Distribution
Statement*

Total Recovery	\$ 20,626.76
Attorney Fees (20%) - Waived	\$ 0.00
Nix, Patterson (75% of fee)	\$
Harrison Rivard (10% of fee)	\$
Harrison Sale (10% of fee)	\$
Buchanan Ingersoll & Rooney (5% of fee)	\$
Net to Client	\$ 20,626.76

Mayor, Rex Buzzett on behalf of the City of Port St. Joe ("Client") hereby accepts **\$20,626.76** as settlement and payment of claims it may have for punitive damages against Halliburton Energy Services, Inc./Transocean in the HESI/Transocean Punitive Damages & Assigned Claims Settlements program arising out of the Deepwater Horizon Oil Spill incident on or about April 20, 2010. Client agrees to accept **\$20,626.76** as its net payment from the gross settlement proceeds. There are no advanced reimbursable costs associated with this claim and the attorneys' fees have been waived.

CITY OF PORT ST. JOE

By: _____
Rex Buzzett - Mayor

Date: _____

ATTESTED BY:

Charlotte Pierce, City Clerk

**STATE REVOLVING FUND
AMENDMENT 3 TO LOAN AGREEMENT DW230110
CITY OF PORT ST. JOE**

This amendment is executed by the STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (Department) and the CITY OF PORT ST. JOE, FLORIDA, (Project Sponsor) existing as a local governmental entity under the laws of the State of Florida. Collectively, the Department and the Project Sponsor shall be referred to as "Parties" or individually as "Party".

The Department and the Project Sponsor entered into a Drinking Water State Revolving Fund Loan Agreement, Number DW230110, as amended, authorizing a Loan amount of \$4,371,657, excluding Capitalized Interest and including Principal Forgiveness in the amount of \$2,204,000; and

The Loan Amount, Principal Forgiveness amount, Semiannual Loan Payment amount, Loan Service Fee, and Project costs need adjustment to reflect actual costs; and

Certain provisions of the Agreement need to be revised.

The Parties hereto agree as follows:

1. The total amount awarded is reduced by \$1,778,485 of which the Principal Forgiveness portion is \$971,167 and the Loan amount is \$807,318. The revised total amount awarded is \$2,593,172. Of that, the Principal Forgiveness is \$1,232,833.
2. The Loan Service Fee for this Loan is \$43,353.00, and the capitalized Loan Service Fee interest is \$441.82.
3. The total amount of the Loan is \$1,408,599.61 which consists of \$1,360,339.00 disbursed to the Project Sponsor, \$4,465.79 of accrued Capitalized Interest and \$43,794.82 of service fee charges.
4. The total amount remaining to repay on the Loan is \$536,798.04, which amount accounts for the Department's receipt of 15 Semiannual Loan Payments and consists of the following:
 - (a) Amendment 1 unpaid principal of \$519,621.96 at an interest rate of 2.42 percent per annum; and
 - (b) Amendment 2 unpaid principal of \$17,176.08 at an interest rate of 1.99 percent per annum.
5. The Semiannual Loan Payment amount, adjusted to account for repayments received to date, is hereby revised and shall be in the amount of \$24,990.83. Such payments shall be

received by the Department on October 15, 2020 and semiannually thereafter on April 15 and October 15 of each year until all amounts due hereunder have been fully paid.

6. Subsection 2.03(1) of the Agreement is deleted and replaced as follows:

(1) The financial assistance authorized pursuant to this Loan Agreement consists of the following:

Federal Resources, Including State Match, Awarded to the Recipient Pursuant to this Agreement Consist of the Following:					
Federal Program Number	Federal Agency	CFDA Number	CFDA Title	Funding Amount	State Appropriation Category
FS98452211-0	EPA	66.468	Capitalization Grants for Drinking Water State Revolving Fund	\$2,593,172	140129

7. Subsection 2.03(4) of the Agreement is deleted.

8. Section 8.02 of the Agreement is deleted and replaced as follows:

Books, records, reports, engineering documents, contract documents, and papers shall be available to the authorized representatives of the Department for inspection at any reasonable time after the Project Sponsor has received a disbursement and until five years after the Final Amendment date.

9. The Project Sponsor and the Department acknowledge that changes in Project costs may occur as a result of an audit. Unless this Agreement is amended subsequent to an audit, the following Project disbursements shall be final.

CATEGORY	PROJECT COSTS (\$)
Administrative Allowance	12,429.00
Planning Allowance	66,300.00
Engineering Allowance	150,000.00
Construction and Demolition	2,259,759.00
Technical Services During Construction	104,684.00
SUBTOTAL (Total Disbursed)	2,593,172.00
Less Principal Forgiveness	(1,232,833.00)
Capitalized Interest	4,465.79
TOTAL (Loan Principal Amount)	1,364,804.79

10. All other terms and provisions of the Loan Agreement shall remain in effect.

REMAINDER OF PAGE INTENTIONALLY LEFT BLANK

This Amendment 3 to Loan Agreement DW230110 may be executed in two or more counterparts, any of which shall be regarded as an original and all of which constitute but one and the same instrument.

IN WITNESS WHEREOF, the Department has caused this amendment to the Loan Agreement to be executed on its behalf by the Secretary or Designee, and the Project Sponsor has caused this amendment to be executed on its behalf by its Authorized Representative and by its affixed seal. The effective date of this amendment shall be as set forth below by the Department.

for
CITY OF PORT ST. JOE

Mayor

Attest:

Approved as to form and legal sufficiency:

City Clerk
SEAL

City Attorney

for
STATE OF FLORIDA
DEPARTMENT OF ENVIRONMENTAL PROTECTION

Secretary or Designee

Date

Calculation of Semiannual Payment for Remaining Years

Sponsor: Port St. Joe
Beginning of Repayment Period: 10/15/2012

Funding Number: 230110
Payments Remaining: 25

Original Loan		Combined Rate: 0				
Date	Balance Forward	Disbursement Or Serv. Fee	Comb. Int At 10/15/2020	Total Owed At 10/15/2020	Present Value* At 04/15/2020	Payment Amount
04/15/2020	519,621.96	0.00	6,287.43	525,909.39		
Subtotals:				525,909.39	519,621.96	24,211.40
Amendment 1		Combined Rate: 2.42				
Date	Balance Forward	Disbursement Or Serv. Fee	Comb. Int At 10/15/2020	Total Owed At 10/15/2020	Present Value* At 04/15/2020	Payment Amount
04/15/2020	17,176.08	0.00	170.90	17,346.98		
Subtotals:				17,346.98	17,176.08	779.43
Totals:				543,256.37	536,798.04	24,990.83
Amendment 2		Combined Rate: 1.99				
Date	Balance Forward	Disbursement Or Serv. Fee	Comb. Int At 10/15/2020	Total Owed At 10/15/2020	Present Value* At 04/15/2020	Payment Amount
04/15/2020	17,176.08	0.00	170.90	17,346.98		
Subtotals:				17,346.98	17,176.08	779.43
Totals:				543,256.37	536,798.04	24,990.83

*Present value is the total owed divided by $(1 + (\text{Combined interest rate})/2)$
The Payment Amount is computed using the present value.

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe
Funding Number: 230110

Original Loan	Interest: 0	GAA Rate: 0
---------------	-------------	-------------

	Pmt.	Serv. Fee	SF					
Date	No.	Payment	Paid	Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*

*Total to pay may reflect activity during repayment term

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 1		Interest: 2.42	GAA Rate: 0					
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2012		0.00	0.00	0.00	0.00	0.00	0.00	945,244.61
04/15/2013	1	52,262.59	26,885.82	325.32	9,457.49	0.00	15,593.96	902,764.83
10/15/2013	2	69,332.00	0.00	0.00	13,104.12	0.00	56,227.88	1,079,507.95
04/15/2014	3	69,332.00	0.00	0.00	13,091.09	0.00	56,240.91	1,059,768.04
10/15/2014	4	69,215.77	0.00	0.00	13,840.33	0.00	55,375.44	1,143,246.60
04/15/2015	5	67,989.59	0.00	0.00	13,833.28	0.00	54,156.31	1,089,090.29
10/15/2015	6	67,072.09	0.00	0.00	13,177.99	0.00	53,894.10	1,035,196.19
04/15/2016	7	67,076.74	0.00	0.00	12,525.87	0.00	54,550.87	980,645.32
10/15/2016	8	67,081.37	0.00	0.00	11,865.81	0.00	55,215.56	925,429.76
04/15/2017	9	67,086.00	0.00	0.00	11,197.70	0.00	55,888.30	869,541.46
10/15/2017	10	67,090.62	0.00	0.00	10,521.45	0.00	56,569.17	812,972.29
04/15/2018	11	67,095.22	0.00	0.00	9,836.96	0.00	57,258.26	755,714.03
10/15/2018	12	67,099.82	0.00	0.00	9,144.14	0.00	57,955.68	697,758.35
04/15/2019	13	67,104.41	0.00	0.00	8,442.88	0.00	58,661.53	639,096.82
10/15/2019	14	67,108.99	0.00	0.00	7,733.07	0.00	59,375.92	579,720.90

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 1		Interest: 2.42	GAA Rate: 0					
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
04/15/2020	15	67,113.56	0.00	0.00	7,014.62	0.00	60,098.94	519,621.96
10/15/2020	16	24,211.40	0.00	0.00	6,287.43	0.00	17,923.97	501,697.99
04/15/2021	17	24,211.40	0.00	0.00	6,070.55	0.00	18,140.85	483,557.14
10/15/2021	18	24,211.40	0.00	0.00	5,851.04	0.00	18,360.36	465,196.78
04/15/2022	19	24,211.40	0.00	0.00	5,628.88	0.00	18,582.52	446,614.26
10/15/2022	20	24,211.40	0.00	0.00	5,404.03	0.00	18,807.37	427,806.89
04/15/2023	21	24,211.40	0.00	0.00	5,176.46	0.00	19,034.94	408,771.95
10/15/2023	22	24,211.40	0.00	0.00	4,946.14	0.00	19,265.26	389,506.69
04/15/2024	23	24,211.40	0.00	0.00	4,713.03	0.00	19,498.37	370,008.32
10/15/2024	24	24,211.40	0.00	0.00	4,477.10	0.00	19,734.30	350,274.02
04/15/2025	25	24,211.40	0.00	0.00	4,238.32	0.00	19,973.08	330,300.94
10/15/2025	26	24,211.40	0.00	0.00	3,996.64	0.00	20,214.76	310,086.18
04/15/2026	27	24,211.40	0.00	0.00	3,752.04	0.00	20,459.36	289,626.82
10/15/2026	28	24,211.40	0.00	0.00	3,504.48	0.00	20,706.92	268,919.90
04/15/2027	29	24,211.40	0.00	0.00	3,253.93	0.00	20,957.47	247,962.43

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 1		Interest: 2.42		GAA Rate: 0				
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2027	30	24,211.40	0.00	0.00	3,000.35	0.00	21,211.05	226,751.38
04/15/2028	31	24,211.40	0.00	0.00	2,743.69	0.00	21,467.71	205,283.67
10/15/2028	32	24,211.40	0.00	0.00	2,483.93	0.00	21,727.47	183,556.20
04/15/2029	33	24,211.40	0.00	0.00	2,221.03	0.00	21,990.37	161,565.83
10/15/2029	34	24,211.40	0.00	0.00	1,954.95	0.00	22,256.45	139,309.38
04/15/2030	35	24,211.40	0.00	0.00	1,685.64	0.00	22,525.76	116,783.62
10/15/2030	36	24,211.40	0.00	0.00	1,413.08	0.00	22,798.32	93,985.30
04/15/2031	37	24,211.40	0.00	0.00	1,137.22	0.00	23,074.18	70,911.12
10/15/2031	38	24,211.40	0.00	0.00	858.02	0.00	23,353.38	47,557.74
04/15/2032	39	24,211.40	0.00	0.00	575.45	0.00	23,635.95	23,921.79
10/15/2032	40	24,211.24	0.00	0.00	289.45	0.00	23,921.79	0.00
Subtotals:		1,604,345.61	26,885.82	325.32	250,449.68	0.00	1,326,684.79	
*Total to pay may reflect activity during repayment term								

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 2		Interest: 1.99	GAA Rate: 0					
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2012		0.00	0.00	0.00	0.00	0.00	0.00	0.00
04/15/2013	1	17,069.41	16,909.00	160.41	0.00	0.00	0.00	0.00
10/15/2013	2	0.00	0.00	0.00	0.00	0.00	0.00	0.00
04/15/2014	3	0.00	0.00	0.00	0.00	0.00	0.00	0.00
10/15/2014	4	116.23	0.00	0.00	4.10	0.00	112.13	1,919.87
04/15/2015	5	1,342.41	0.00	0.00	163.99	0.00	1,178.42	21,503.45
10/15/2015	6	2,259.91	0.00	0.00	310.05	0.00	1,949.86	34,879.59
04/15/2016	7	2,255.26	0.00	0.00	347.05	0.00	1,908.21	32,971.38
10/15/2016	8	2,250.63	0.00	0.00	328.07	0.00	1,922.56	31,048.82
04/15/2017	9	2,246.00	0.00	0.00	308.94	0.00	1,937.06	29,111.76
10/15/2017	10	2,241.38	0.00	0.00	289.66	0.00	1,951.72	27,160.04
04/15/2018	11	2,236.78	0.00	0.00	270.24	0.00	1,966.54	25,193.50
10/15/2018	12	2,232.18	0.00	0.00	250.68	0.00	1,981.50	23,212.00
04/15/2019	13	2,227.59	0.00	0.00	230.96	0.00	1,996.63	21,215.37
10/15/2019	14	2,223.01	0.00	0.00	211.09	0.00	2,011.92	19,203.45

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 2		Interest: 1.99	GAA Rate: 0					
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
04/15/2020	15	2,218.44	0.00	0.00	191.07	0.00	2,027.37	17,176.08
10/15/2020	16	779.43	0.00	0.00	170.90	0.00	608.53	16,567.55
04/15/2021	17	779.43	0.00	0.00	164.85	0.00	614.58	15,952.97
10/15/2021	18	779.43	0.00	0.00	158.73	0.00	620.70	15,332.27
04/15/2022	19	779.43	0.00	0.00	152.56	0.00	626.87	14,705.40
10/15/2022	20	779.43	0.00	0.00	146.32	0.00	633.11	14,072.29
04/15/2023	21	779.43	0.00	0.00	140.02	0.00	639.41	13,432.88
10/15/2023	22	779.43	0.00	0.00	133.66	0.00	645.77	12,787.11
04/15/2024	23	779.43	0.00	0.00	127.23	0.00	652.20	12,134.91
10/15/2024	24	779.43	0.00	0.00	120.74	0.00	658.69	11,476.22
04/15/2025	25	779.43	0.00	0.00	114.19	0.00	665.24	10,810.98
10/15/2025	26	779.43	0.00	0.00	107.57	0.00	671.86	10,139.12
04/15/2026	27	779.43	0.00	0.00	100.88	0.00	678.55	9,460.57
10/15/2026	28	779.43	0.00	0.00	94.13	0.00	685.30	8,775.27
04/15/2027	29	779.43	0.00	0.00	87.31	0.00	692.12	8,083.15

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

Amendment 2		Interest: 1.99		GAA Rate: 0				
Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2027	30	779.43	0.00	0.00	80.43	0.00	699.00	7,384.15
04/15/2028	31	779.43	0.00	0.00	73.47	0.00	705.96	6,678.19
10/15/2028	32	779.43	0.00	0.00	66.45	0.00	712.98	5,965.21
04/15/2029	33	779.43	0.00	0.00	59.35	0.00	720.08	5,245.13
10/15/2029	34	779.43	0.00	0.00	52.19	0.00	727.24	4,517.89
04/15/2030	35	779.43	0.00	0.00	44.95	0.00	734.48	3,783.41
10/15/2030	36	779.43	0.00	0.00	37.64	0.00	741.79	3,041.62
04/15/2031	37	779.43	0.00	0.00	30.26	0.00	749.17	2,292.45
10/15/2031	38	779.43	0.00	0.00	22.81	0.00	756.62	1,535.83
04/15/2032	39	779.43	0.00	0.00	15.28	0.00	764.15	771.68
10/15/2032	40	779.36	0.00	0.00	7.68	0.00	771.68	0.00
Subtotals:		60,404.91	16,909.00	160.41	5,215.50	0.00	38,120.00	
*Total to pay may reflect activity during repayment term								

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

All Increments Combined

Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2012		0.00	0.00	0.00	0.00	0.00	0.00	945,244.61
04/15/2013	1	69,332.00	43,794.82	485.73	9,457.49	0.00	15,593.96	902,764.83
10/15/2013	2	69,332.00	0.00	0.00	13,104.12	0.00	56,227.88	1,079,507.95
04/15/2014	3	69,332.00	0.00	0.00	13,091.09	0.00	56,240.91	1,059,768.04
10/15/2014	4	69,332.00	0.00	0.00	13,844.43	0.00	55,487.57	1,145,166.47
04/15/2015	5	69,332.00	0.00	0.00	13,997.27	0.00	55,334.73	1,110,593.74
10/15/2015	6	69,332.00	0.00	0.00	13,488.04	0.00	55,843.96	1,070,075.78
04/15/2016	7	69,332.00	0.00	0.00	12,872.92	0.00	56,459.08	1,013,616.70
10/15/2016	8	69,332.00	0.00	0.00	12,193.88	0.00	57,138.12	956,478.58
04/15/2017	9	69,332.00	0.00	0.00	11,506.64	0.00	57,825.36	898,653.22
10/15/2017	10	69,332.00	0.00	0.00	10,811.11	0.00	58,520.89	840,132.33
04/15/2018	11	69,332.00	0.00	0.00	10,107.20	0.00	59,224.80	780,907.53
10/15/2018	12	69,332.00	0.00	0.00	9,394.82	0.00	59,937.18	720,970.35
04/15/2019	13	69,332.00	0.00	0.00	8,673.84	0.00	60,658.16	660,312.19
10/15/2019	14	69,332.00	0.00	0.00	7,944.16	0.00	61,387.84	598,924.35

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

All Increments Combined

Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
04/15/2020	15	69,332.00	0.00	0.00	7,205.69	0.00	62,126.31	536,798.04
10/15/2020	16	24,990.83	0.00	0.00	6,458.33	0.00	18,532.50	518,265.54
04/15/2021	17	24,990.83	0.00	0.00	6,235.40	0.00	18,755.43	499,510.11
10/15/2021	18	24,990.83	0.00	0.00	6,009.77	0.00	18,981.06	480,529.05
04/15/2022	19	24,990.83	0.00	0.00	5,781.44	0.00	19,209.39	461,319.66
10/15/2022	20	24,990.83	0.00	0.00	5,550.35	0.00	19,440.48	441,879.18
04/15/2023	21	24,990.83	0.00	0.00	5,316.48	0.00	19,674.35	422,204.83
10/15/2023	22	24,990.83	0.00	0.00	5,079.80	0.00	19,911.03	402,293.80
04/15/2024	23	24,990.83	0.00	0.00	4,840.26	0.00	20,150.57	382,143.23
10/15/2024	24	24,990.83	0.00	0.00	4,597.84	0.00	20,392.99	361,750.24
04/15/2025	25	24,990.83	0.00	0.00	4,352.51	0.00	20,638.32	341,111.92
10/15/2025	26	24,990.83	0.00	0.00	4,104.21	0.00	20,886.62	320,225.30
04/15/2026	27	24,990.83	0.00	0.00	3,852.92	0.00	21,137.91	299,087.39
10/15/2026	28	24,990.83	0.00	0.00	3,598.61	0.00	21,392.22	277,695.17
04/15/2027	29	24,990.83	0.00	0.00	3,341.24	0.00	21,649.59	256,045.58

State Revolving Fund Loan
*** Amortized Repayment Schedule ***

Sponsor: Port St. Joe

Funding Number: 230110

All Increments Combined

Date	Pmt. No.	Payment	Serv. Fee Paid	SF Interest	Interest	Grt. All. Assmt.	Principal Paid	Total to Pay*
10/15/2027	30	24,990.83	0.00	0.00	3,080.78	0.00	21,910.05	234,135.53
04/15/2028	31	24,990.83	0.00	0.00	2,817.16	0.00	22,173.67	211,961.86
10/15/2028	32	24,990.83	0.00	0.00	2,550.38	0.00	22,440.45	189,521.41
04/15/2029	33	24,990.83	0.00	0.00	2,280.38	0.00	22,710.45	166,810.96
10/15/2029	34	24,990.83	0.00	0.00	2,007.14	0.00	22,983.69	143,827.27
04/15/2030	35	24,990.83	0.00	0.00	1,730.59	0.00	23,260.24	120,567.03
10/15/2030	36	24,990.83	0.00	0.00	1,450.72	0.00	23,540.11	97,026.92
04/15/2031	37	24,990.83	0.00	0.00	1,167.48	0.00	23,823.35	73,203.57
10/15/2031	38	24,990.83	0.00	0.00	880.83	0.00	24,110.00	49,093.57
04/15/2032	39	24,990.83	0.00	0.00	590.73	0.00	24,400.10	24,693.47
10/15/2032	40	24,990.60	0.00	0.00	297.13	0.00	24,693.47	0.00
Totals:		1,664,750.52	43,794.82	485.73	255,665.18	0.00	1,364,804.79	
*Total to pay may reflect activity during repayment term								