

**City of Port St. Joe
Planning, Development, and Review Board Regular Meeting
November 3, 2020 at 4:00 P.M.**

**Jay Rish
Minnie Likely
Rawlis Leslie
Phil Earley**

**Hal Keels
Travis Burge
Letha Mathews**

PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE

ROLL CALL OF THE BOARD

CONSENT AGENDA:

October 6, 2020, Regular Meeting Minutes

Pages 1-2

BUSINESS ITEMS

- **Ordinance 578 North Port St. Joe Overlay District** **Pages 3-23**
- **Special Exception Request- 1620 Palm Blvd.**
Robert Nobles- Pole Barn **Pages 24-38**
- **Special Exception Request- 2003 Cypress Ave.**
Norman & Phyllis Bixler- Carport **Pages 39-51**
- **Development Order- Arazzo on Madison** **Pages 52-88**
Parcels: 030-001R & 03037-000R
- **Development Order- The Overlook Townhomes** **Pages 89-120**
Parcels: 04430-000R, 04428-000R, 04429-000R,
04431-000R, 04427-000R, & 04426-000R

***You are hereby notified that in accordance with Florida Statutes, you have the right to appeal any decision made by the Board with respect to any matter considered at the above referenced meeting. You may need to ensure that a verbatim record of the proceedings is made which may need to include evidence and testimony upon which the appeal is based.**

City of Port St. Joe
Regular Meeting
Planning Development & Review Board
October 6, 2020

Minutes

Pledge of Allegiance and Moment of Silence

Roll Call of the Board

Present		Absent	
Board	Staff	Board	Staff
Jay Rish	Jim Anderson	Rawlis Leslie	Bo Creel
Travis Burge	Charlotte Pierce		
Phil Earley	Clinton McCahill		
Hal Keels	Kelly Simpson		
Minnie Likely			
Letha Mathews			

After ascertaining that a quorum was present, Chairman Rish called the Meeting to Order at 4:00 P.M.

Consent Agenda

Attorney Clinton McCahill read Form 8B Memorandum of Voting Conflict For County, Municipal, and Other Local Public Officers completed by William J. Rish, Jr., for the August 4, 2020, meeting where he abstained from voting on the Platt Approval of Parcel #03072-002R, High and Tight Too LLC as it would be inured to his special private gain or loss.

A Motion was made by Travis Burge, second by Hal Keels, to approve the Regular Meeting Minutes of August 4, 2020. All in favor; Motion carried 6-0.

Business Items

Plat Approval – Parcel #04559-065R Barefoot Cottages Phase II – Charles Haskett

Jack Husband, representing Charles Haskett, shared this Development was previously approved and approximately 30% of it has been completed. The request for today is for the Phase II Plat which is 4.29 acres, will contain 48 units, a pool and Mr. Husband noted there is no deviation from the previous plan.

Charles Foreson expressed his concerns about the project.

Charles Haskett stated there is only 1 HOA, there will be shared parking, and he wants to finish the project as soon as possible.

Chairman Rish announced that he would be abstaining from voting and passed the chair to Vice-Chairman, Phil Earley. Mr. Rish is the Realtor of record on this property. Form 8B Memorandum of Voting Conflict For County, Municipal, and Other Public Officers was completed by Mr. Rish and is attached to these minutes.

Vice Chairman Earley asked what the pleasure of the Board was.

A Motion was made by Travis Burge, second by Hal Keel, to approve the Plat. All in favor; Motion carried 5-0 with Chairman Rish abstaining.

The chair was returned to Mr. Rish.

The was no other busines to come before the Board and a Motion was made by Minnie Likely, second by Letha Mathews, to adjourn the meeting at 4:25 P.M.

Charlotte Pierce, City Clerk

Date

Jay Rish, Chairman

Date

ORDINANCE NO. 578

AN ORDINANCE AMENDING THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF PORT ST. JOE, SPECIFICALLY CITY-INITIATED TEXT AND MAP AMENDMENT TO (1) CREATE A NORTH PORT ST. JOE MIXED USE OVERLAY DISTRICT, (2) TO AMEND THE ZONING MAP OF THE CITY; PROVIDING FOR SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT HERewith AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Port St. Joe City Commission has adopted the Comprehensive Plan within which are included goals, objectives, and policies related to the adoption of land development regulations; and

WHEREAS, Chapter 163, Part II, Section 3201, the Florida Statutes, requires the implementation of these goals, objectives, and policies through the adoption of consistent land development regulations; and

WHEREAS, Chapter 163, Part II, Section 3202, of the Florida Statutes requires each county and municipality to adopt or amend and enforce land development regulations that are consistent with and implement the adopted comprehensive plan within one (1) year after submission of the revised comprehensive plan for review to the state; and

WHEREAS, the Planning and Development and Review Board in its capacity as the Local Planning Agency, considered this request, found it consistent with the goals, objectives and policies of the local Comprehensive Plan, and recommended approval at a properly advertised public hearing on November 3, 2020;

NOW THEREFORE, IT BE ORDAINED by the City Commission of the City of Port St. Joe, Florida, amends the Land Development Regulations as follows:

Section 1. The following Sections of the Land Development Regulations are to be amended:

Section 3.16. Mixed Use district;

Section 3.17(4)c. Planned Unit Development (PUD);

Section 5.02. Impervious surface coverage and stormwater management;

And;

Section 5.08. - Same—Required parking spaces

(See Exhibit A)

Section 2. Upon this Ordinance becoming effective, the City of Port St. Joe Zoning Map shall be amended to show the property described on attached Exhibit "B" as the North Port St. Joe Mixed Use Overlay District.

(See Exhibit B) 3

Section 3. The provisions of the Ordinance are hereby declared to be severable. If any revision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

Section 4. This Ordinance shall become effective as provided by law.

This Ordinance was adopted in open regular meeting after its second reading

this _____, after due notice in accordance with Florida Law.

ATTEST: BOARD OF CITY COMMISSIONERS OF PORT ST. JOE, FLORIDA

Charlotte M. Pierce, City Clerk

Rex Buzzett, Mayor

APPROVED AS TO FORM:

Clinton McCahill, City Attorney

EXHIBIT A

Land Development Regulations, Part III

Article III. Land Use: Type, Density, Intensity

Sec. 3.16. Mixed Use districts.

(1) Mixed Use District.

- a. The purpose of the mixed use district is to allow a mix of residential, commercial and other uses to promote development of a high quality environment for living, working or visiting. Other uses allowed in the mixed use district are industrial, public uses, recreational, open space and conservation. The mixed use district may be assigned to lands designated as mixed use in the future land use map and will be limited to areas with an adequate level of public facilities and services. The mixed use district will encourage vertical integration of various residential and non-residential uses within these areas, achieving internal trip capture.
- b. The following regulations apply in the mixed use district:

Development shall contain the minimum percentage of at least two of the following districts:

Land use districts	Allowable mix of
Residential	25 - 75 %
Commercial	25 - 75 %
Other uses such as industrial, public, recreational, open space and conservation.	25 - 75 %

- c. Residential density in the mixed use district may not exceed 15 units per acre; commercial and industrial uses may not exceed maximum lot coverage of 90% and 60 ft building height limitation. Intensity standards for other uses allowed in the mixed use district are as defined in the individual public, recreational, open space and conservation districts contained in this article.

(2) North Port St. Joe Mixed Use Overlay District

- a. The purpose of the North Port St. Joe Mixed Use District is to promote development of a high-quality mixed-use environment for living, working, or visiting that transitions smoothly to the historic single-family neighborhood around it. The North Port St. Joe Mixed Use is assigned to the area adjacent to Martin Luther King Boulevard from Avenue A to Avenue G that has a designation of North Port St. Joe Mixed Use on the Future Land Use Map. The North Port St. Joe Mixed Use Overlay District will encourage redevelopment within the neighborhood, bringing goods and services to a commercially under-served area.

Development in areas designated as North Port St. Joe Mixed Use shall contain the minimum percentage of at least two of the following Land Use Categories:

Land Use Category	Allowable Mix of Uses
<u>Residential</u>	<u>10 - 90 %</u>
<u>Commercial</u>	<u>15 - 85 %</u>
<u>Other uses such as Industrial, Public, Recreational, Open Space and Conservation.</u>	<u>15 - 85 %</u>

b. The Overlay District is divided into three sub-districts:

i. Retail Sub-District.

The Retail Sub-District allows up to 30 multi-family units per acre, or up to 40 multi-family units per acre when residential and non-residential uses are combined within the same building. The maximum lot coverage is 100%. All buildings are limited to 60 feet in height. Intensity standards applicable to Recreation, Conservation, and Open Spaces uses are as defined elsewhere in the Code.

The requirements of the Mixed Use Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Retail Sub-District.

ii. Residential Sub-District.

The Residential Sub-District allows residential multi-family units of up to 30 units per acre. The maximum lot coverage is 100%. All buildings are limited to a height of 60 feet.

The requirements of the R-2B Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Residential Sub-District.

ii. Transition Sub-district.

The Transition Sub-district allows residential multi-family development up to 25 units per acre. The maximum lot coverage is 90%. All buildings are limited to a height of 60 feet. Side-by-side duplexes, stacked duplexes, and fourplexes shall be encouraged to provide a transition to the surrounding single-family neighborhood.

The requirements of the R-2B Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Transition Sub-District.

- c. Implementation. In order to create greater design flexibility and compatibility with surrounding uses, the North Port St. Joe Mixed Use Overlay District may be implemented through the Planned Unit Development (PUD) process (Section 3.17). When implemented through the PUD process, the requirements of the zoning districts referenced above (Mixed Use District and R-2B District) may be deviated from with approval from the City as described in Section 3.17.
- d. Buffering. Incompatible uses within the North Port St. Joe Mixed Use Overlay District shall be buffered from one another as required by Section 5.05 of this Code. Creative buffer solutions shall be considered through the PUD process as described in Section 3.17 of this Code.

Sec. 3.17. Planned Unit Development district

Section 3.17(4)c:

- c. A minimum site size of five acres is required unless the site is located within a Port St Joe Redevelopment Area or within the North Port St. Joe Mixed Use Overlay District whereupon only one acre is required.

Land Development Regulations, Part III

Article V. Development Standards

Section 5.02 Impervious surface coverage and stormwater management.

- (a) *General:* Impervious surface refers to a surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. It includes but is not limited to semi-impervious surfaces such as compacted clay, as well as most conventionally surfaced streets, roofs, sidewalks, parking lots and other similar structures. The total impervious surface area of a development shall not exceed the ratios established in the following table:

<i>Zoning Districts</i>	<i>Impervious Surface Ratio (ISR)</i>
Conservation	N/A
Residential (VLR)	.30
Residential (R1)	.30
Residential (R2)	.40
Residential (R3)	.40
Residential (R4)	.50
Commercial	.70 *
Public Use	.60
Mixed Use	.70 *
North Port St. Joe Mixed Use	1.0
Planned Unit Development (PUD)	.70 *
Industrial	.70
Recreation	.50
Open Space	.10

* Except that ISR of 1.0 shall be allowed within the Port St Joe Redevelopment Area and North Port St. Joe Mixed Use District

Sec. 5.08. - Same—Required parking spaces.

- (c) Treatment of mixed uses. Where a combination of uses is developed, parking shall be provided for each use as prescribed by subsection (a) above; however, the city recognizes that shared parking is often inherent in mixed use developments which include one or more uses that are complementary, ancillary and support other activities and will consider specific data and analysis provided by the applicant in determining the required number of parking spaces. The applicant must show that if the number of parking spaces approved prove to be insufficient, they can and will correct the situation by adding the number of spaces needed to meet the city's minimum standards. The planning and development review board shall approve or deny a request for a waiver of the minimum number of parking spaces. Development within the North Port St. Joe Mixed Use Retail Sub District is permitted to use on-street parking directly adjacent to the development in the calculations to determine the number of required parking spaces.
- (g) On-street parking. Development within the North Port St. Joe Mixed Use Residential Sub-District may use the on-street parking directly adjacent to the development to meet parking requirements. Redevelopment of a parcel which previously used on street parking may continue to use on street parking provided that the new use does not significantly increase the number of parking spaces required.

City of Port St. Joe

Land Development Code Amendment



Prepared By:

City of Port St. Joe
305 Cecil G. Costin Sr. Blvd.
Port St. Joe, FL 32456
and



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Tallahassee FL 32309

October 2020

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Appendices

Appendix A: Map

I. North Port St. Joe

A. Past Planning Efforts

The area around Martin Luther King Boulevard in the City of Port St. Joe once contained a plethora of businesses serving the local African American community. Since the closure of the paper mill and other adverse economic trends, there is only one business left. In an effort to revitalize this and other affected areas within the City, a plan was developed as part of the Community Redevelopment Area efforts. However, the 2009 redevelopment plan for the Martin Luther King Boulevard area, also known as North Port St. Joe, has not yet yielded any redevelopment.

In 2016, concerned residents of North Port St Joe met in three public meetings and created a new community plan for the designated Expansion Area of Port St. Joe's Downtown Redevelopment Area along Martin Luther King Boulevard (see Figure 1). The community plan, called *Redeveloping North Port St. Joe*, was accepted by the Port St. Joe Redevelopment Agency and the City Commission in early 2017 as an update to the 2009 North Port St Joe Master Plan. *Redeveloping North Port St. Joe*'s highest priority is to restore Martin Luther King Boulevard without displacing any of the local residents. With the growing prospect of a new port adjacent to the community, its citizens are intent that North Port St. Joe is ready for and benefits fully from the future economic development.

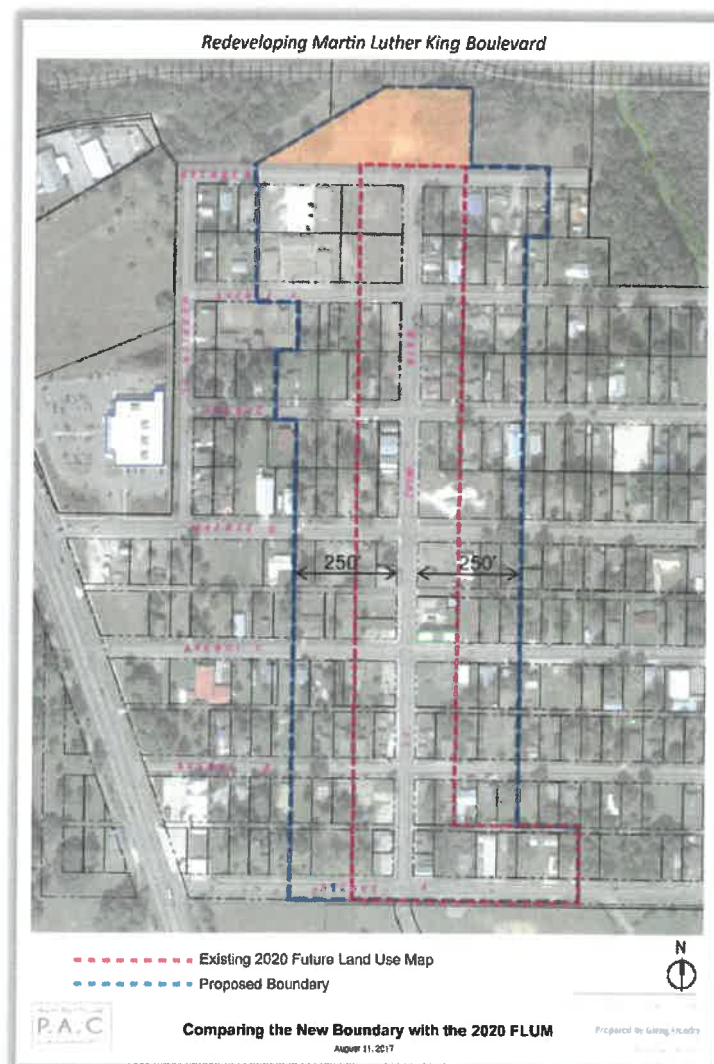


Figure 1: The expanded mixed-use area in the North Port St. Joe neighborhood, courtesy John Hendry, Pacific Xan.

Redeveloping North Port St. Joe proposes an increased density and intensity mixed-use district along Martin Luther King Boulevard. A new land use category has been adopted to implement the recommendations of the redevelopment plan. The new category differs slightly from the existing Mixed-Use district, with a higher density available through a density bonus and a slightly higher lot coverage maximum. While the whole area, original and expansion, will be under the new North Port St Joe Mixed Use land use category, the core area will be developed as a mixed-use area with commercial, retail, and office mixed with multi-family residential. This core business area will be surrounded by low-rise multi-family development to provide both housing choice as well a transition to the historic single-family neighborhoods surrounding it. The major differences between the two development areas will be made evident with changes to the Land Development Regulations.

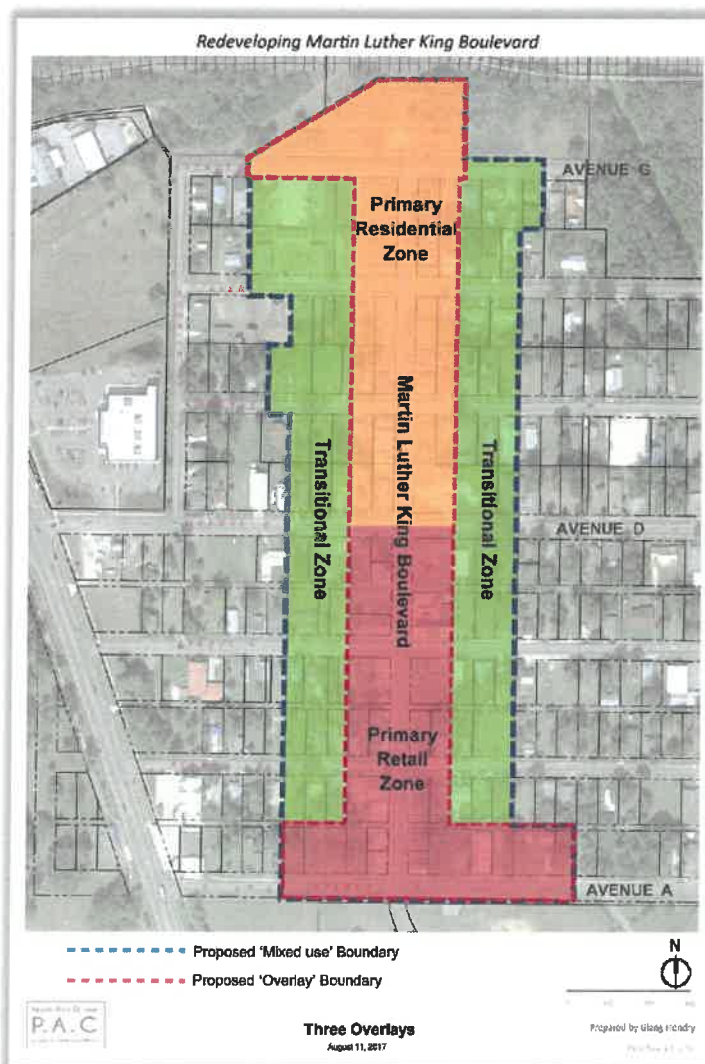


Figure 2: The location of the three sub-districts within the North Port St. Joe Mixed Use overlay district, courtesy John Hendry, PacificXanh.

Within the Land Development Regulations, a new overlay district to implement the land use category is proposed. This overlay district acts as a detailed neighborhood plan, guiding development along the corridor. While the Comprehensive Plan sets the upper limits of what is possible within the land use district, the Overlay divides the area into three subdistricts, guiding the function, character, intensity, type, and degree of growth anticipated within the area (see Figure 2). As the corridor develops, changes to these requirements may be needed, and the greater flexibility within the Land Development Regulations will ensure that the necessary changes can be made. As within *Redeveloping North Port St. Joe*, creating economic development opportunities to increase employment growth and decrease poverty levels is the

main focus for these areas, with a secondary focus on human and social programs.

The meetings held with the community reveal a vision of the North Port St. Joe Neighborhood returning to its Traditional Neighborhood Design (TND) roots. TND refers to residential neighborhoods designed in the format of small, early 20th century villages and neighborhoods with homes on small lots, narrow front yards with front porches and gardens, detached garages in the backyard, walkable “Main Street” commercial areas with shops lining the sidewalk, and public parks, town greens, or village squares. Most contemporary development is characterized by an orientation to the automobile, separation of land uses, and low intensities. TND calls for compact, pedestrian-oriented neighborhoods with a mix of commercial and residential uses, a variety of housing types, and public places where people have opportunities to socialize and engage in civic life. The automobile is still accommodated, with ample parking and efficient circulation, but it no longer dominates the landscape. The existing fabric of the North Port St. Joe neighborhood is conducive to this neighborhood type, with small lots on small blocks and a historical commercial center, but the economic component of the Main Street (Martin Luther King Boulevard) is missing. The proposed land use category will provide the increased density and intensity needed to create flexibility to foster renewed economic development within the area.

B. New North Port St. Joe Mixed Use Land Use Category

The new Land Use Category adopted for the North Port St. Joe Area, North Port St. Joe Mixed Use, increases the density and intensity within the area around Martin Luther King Boulevard. North Port St. Joe Mixed Use will also be applied to a larger area than the area currently designated on the Future Land Use Map (18 acres, versus the 5.43 acres currently designated as Mixed Use).

The proposed land use category increases both the density and intensity from the existing Mixed Use and Residential Categories to allow for the type of development desired by the community. The following language is proposed to be added to Policy 1.3.4 of the Future Land Use Element:

North Port St. Joe Mixed Use

The purpose of this land use category is to further the Community Redevelopment Plan and to implement the vision of *Redeveloping North Port St. Joe* around the Martin Luther King Boulevard area. This land use district allows a mix of Residential, Commercial, Office and other uses to promote development of a high-quality environment for living, working or visiting. Other uses allowed are Low-Intensity Industrial, Public Uses, Recreational, Open Space, and Conservation. The North Port St. Joe Mixed Use category is to be assigned to the area on both sides of Martin Luther King Boulevard, as shown on the Future Land Use Map. The North Port St. Joe Mixed Use category will encourage vertical integration of residential and non- residential uses

within the neighborhood, bringing goods and services to an under-served area.

The mixture of development within the North Port St. Joe Land Use Mixed Use Category will be governed by an overlay district within the Land Development Regulations.

- i. Residential density is 30 units per acre.
- ii. When residential uses are combined with non-residential uses within the same building, a density bonus may be granted with maximum residential density not to exceed 40 units per acre;
- iii. Maximum lot coverage is 100%;
- iv. All buildings are limited to 60 ft in height;
- v. Intensity standards for the Recreational, Open Spaces and Conservation land use categories areas defined elsewhere in FLUE Policy 1.3.4.
- vi. The mix of uses does not have to be developed at the same time, nor is one land use a prerequisite to another land use. For the purposes of this section, the mix of uses refers to the overall land use category that is assigned the North Port St. Joe Mixed Use future land use category and not individual pods, units, tracts, or lots within the parent parcel of land.
- vii. Development in areas designated as North Port St. Joe Mixed Use shall contain the minimum percentage of at least two of the following Land Use Categories:

Land Use Category	Allowable Mix of Uses
<u>Residential</u>	<u>10 - 90 %</u>
<u>Commercial</u>	<u>15 - 85 %</u>
<u>Other uses such as Industrial, Public, Recreational, Open Space and Conservation.</u>	<u>15 - 85 %</u>

II. Proposed Land Development Regulation Changes

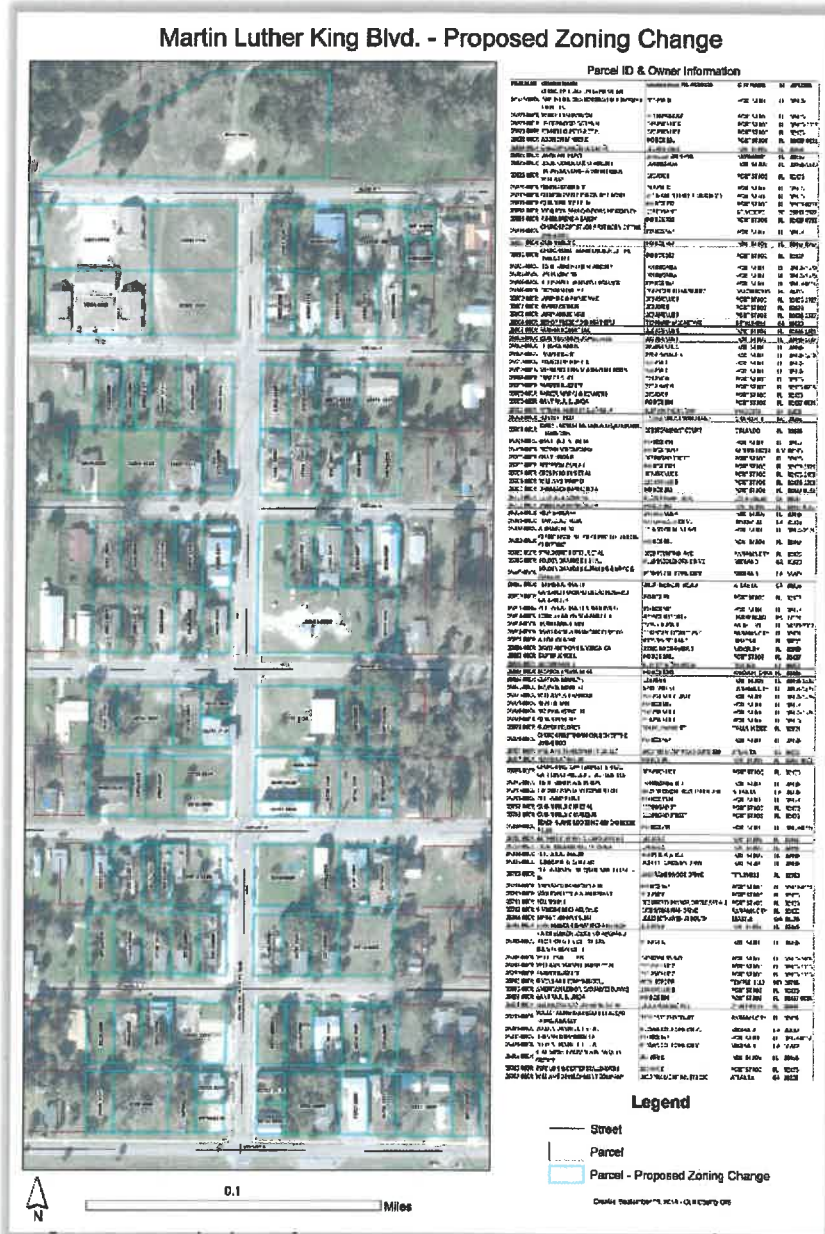
While the increase density and intensity are applied to the entirety of the expanded area, development will be implemented in greater detail within three overlays within the City's Land Development Regulations (see Figure 3 for a location of the parcels proposed to be changed). These overlay zones will be used to create a primarily retail area on the lots on

southern three blocks immediately adjacent to Martin Luther King Boulevard and a primarily multi-family area on the lots on the northern three blocks immediately adjacent to Martin Luther King Boulevard. The third overlay will encompass the remaining area covered by the Land Use change and will create a residential transitional area between the higher density and intensity along Martin Luther King Boulevard and the single-family neighborhood on either side of it. In addition to serving as a transition to lower density, the area will provide an opportunity for the development of different housing types.

A. Section 3

This section contains the requirements for each specific zoning district, including the existing Mixed Use zoning district and requirements for submitting a Planned Unit Development (PUD). A PUD provides an opportunity for innovative concepts in site planning and the creation of living, working and shopping environments. Those applying for a PUD may establish the restrictions and regulations that apply to the development.

Incorporating the new land development code requirements that implement the new North Port St. Joe Mixed Use Future Land Use Category creates changes to Section 3.16 , Mixed Use Districts, and Section 3.17, Planned Unit Development. Section 3.16 is proposed to be expanded to add the new mixed use designation and Section 3.17 is altered to allow a PUD on



15

a parcel of any size within the North Port St. Joe Overlay District.

Changes to Section 3.16 include the establishment of three sub-districts within the North Port St. Joe Mixed Use Overlay District. These three districts are the Retail Sub-district, the Residential Sub-district, and the Transition Sub-district. These districts are established to meet the objectives described in the above paragraphs. The proposed changes to Section 3.16 are as follows:

Sec. 3.16. Mixed Use districts.

(1) Mixed Use District.

a. The purpose of the mixed use district is to allow a mix of residential, commercial and other uses to promote development of a high quality environment for living, working or visiting. Other uses allowed in the mixed use district are industrial, public uses, recreational, open space and conservation. The mixed use district may be assigned to lands designated as mixed use in the future land use map and will be limited to areas with an adequate level of public facilities and services. The mixed use district will encourage vertical integration of various residential and non-residential uses within these areas, achieving internal trip capture.

b. The following regulations apply in the mixed use district:

Development shall contain the minimum percentage of at least two of the following districts:

Land use districts	Allowable mix of
Residential	25 - 75 %
Commercial	25 - 75 %
Other uses such as industrial, public, recreational, open space and conservation.	25 - 75 %

c. Residential density in the mixed use district may not exceed 15 units per acre; commercial and industrial uses may not exceed maximum lot coverage of 90% and 60 ft building height limitation. Intensity standards for other uses allowed in the mixed use district are as defined in the individual public, recreational, open space and conservation districts contained in this article.

(2) North Port St. Joe Mixed Use Overlay District

a. The purpose of the North Port St. Joe Mixed Use District is to promote development of a high-quality mixed-use environment for living, working, or visiting that transitions smoothly to the historic single-family neighborhood around it. The North Port St. Joe Mixed Use is assigned to the area adjacent to Martin Luther King Boulevard from Avenue A to Avenue G that has a designation of North Port St. Joe

Mixed Use on the Future Land Use Map. The North Port St. Joe Mixed Use Overlay District will encourage redevelopment within the neighborhood, bringing goods and services to a commercially under-served area.

Development in areas designated as North Port St. Joe Mixed Use shall contain the minimum percentage of at least two of the following Land Use Categories:

Land Use Category	Allowable Mix of Uses
<u>Residential</u>	<u>10 - 90 %</u>
<u>Commercial</u>	<u>15 - 85 %</u>
<u>Other uses such as Industrial, Public, Recreational, Open Space and Conservation.</u>	<u>15 - 85 %</u>

b. The Overlay District is divided into three sub-districts:

i. Retail Sub-District.

The Retail Sub-District allows up to 30 multi-family units per acre, or up to 40 multi-family units per acre when residential and non-residential uses are combined within the same building. The maximum lot coverage is 100%. All buildings are limited to 60 feet in height. Intensity standards applicable to Recreation, Conservation, and Open Spaces uses are as defined elsewhere in the Code.

The requirements of the Mixed Use Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Retail Sub-District.

ii. Residential Sub-District.

The Residential Sub-District allows residential multi-family units of up to 30 units per acre. The maximum lot coverage is 100%. All buildings are limited to a height of 60 feet.

The requirements of the R-2B Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception

of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Residential Sub-District.

ii. Transition Sub-district.

The Transition Sub-district allows residential multi-family development up to 25 units per acre. The maximum lot coverage is 90%. All buildings are limited to a height of 60 feet. Side-by-side duplexes, stacked duplexes, and fourplexes shall be encouraged to provide a transition to the surrounding single-family neighborhood.

The requirements of the R-2B Zoning District along with all applicable requirements of the Land Development Regulation Code, with the exception of the above density and intensity standards, shall apply to all new or redevelopment of properties located with the Transition Sub-District.

- c. Implementation. In order to create greater design flexibility and compatibility with surrounding uses, the North Port St. Joe Mixed Use Overlay District may be implemented through the Planned Unit Development (PUD) process (Section 3.17). When implemented through the PUD process, the requirements of the zoning districts referenced above (Mixed Use District and R-2B District) may be deviated from with approval from the City as described in Section 3.17.
- d. Buffering. Incompatible uses within the North Port St. Joe Mixed Use Overlay District shall be buffered from one another as required by Section 5.05 of this Code. Creative buffer solutions shall be considered through the PUD process as described in Section 3.17 of this Code.

Proposed changes to the PUD requirements are as follows:

Section 3.17(4)c:

- c. A minimum site size of five acres is required unless the site is located within a Port St Joe Redevelopment Area or within the North Port St. Joe Mixed Use Overlay District whereupon only one acre is required.

B. Section 5

Section 5 of the Land Development Requirements contains impervious surface standards and parking standards. Changes that support the creation of the type of development desired within the North Port St. Joe Overlay District are proposed within this district. These changes include a 1.0 impervious surface ratio within the new district and provisions that allow on-street parking to counted in the parking requirements for each development.

Section 5.02 Impervious surface coverage and stormwater management.

- (a) *General:* Impervious surface refers to a surface that has been compacted or covered with a layer of material so that it is highly resistant to infiltration by water. It includes but is not limited to semi-impervious surfaces such as compacted clay, as well as most conventionally surfaced streets, roofs, sidewalks, parking lots and other similar structures. The total impervious surface area of a development shall not exceed the ratios established in the following table:

<i>Zoning Districts</i>	<i>Impervious Surface Ratio (ISR)</i>
Conservation	N/A
Residential (VLR)	.30
Residential (R1)	.30
Residential (R2)	.40
Residential (R3)	.40
Residential (R4)	.50
Commercial	.70 *
Public Use	.60
Mixed Use	.70 *
North Port St. Joe Mixed Use	<u>1.0</u>
Planned Unit Development (PUD)	.70 *
Industrial	.70
Recreation	.50
Open Space	.10

* Except that ISR of 1.0 shall be allowed within the Port St Joe Redevelopment Area and North Port St. Joe Mixed Use District

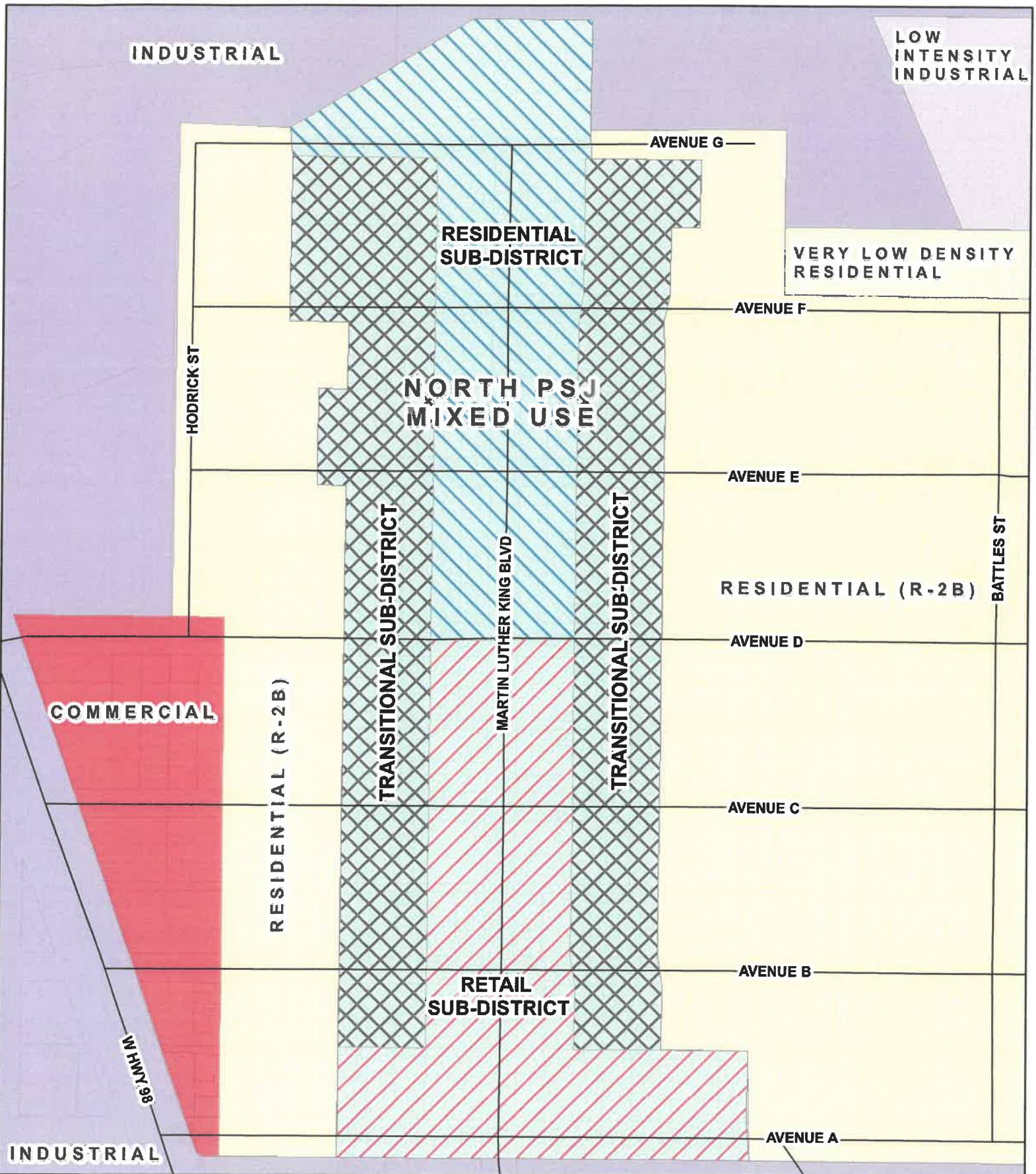
Sec. 5.08. - Same—Required parking spaces.

- (c) Treatment of mixed uses. Where a combination of uses is developed, parking shall be provided for each use as prescribed by subsection (a) above; however, the city recognizes that shared parking is often inherent in mixed use developments which include one or more uses that are complementary, ancillary and support other activities and will consider specific data and analysis provided by the applicant in determining the required number of parking spaces. The applicant must show that if the number of parking spaces approved prove to be insufficient, they can and will correct the situation by adding the number of spaces needed to meet the city's minimum standards. The planning and development review board shall approve or deny a request for a waiver of the minimum number of parking spaces. Development within the North Port St. Joe Mixed Use Retail Sub District is permitted to use on-street parking directly adjacent to the development in the calculations to determine the number of required parking spaces.

- (g) On-street parking. Development within the North Port St. Joe Mixed Use Residential Sub-District may use the on-street parking directly adjacent to the development to meet parking requirements. Redevelopment of a parcel which previously used on street parking may continue to use on street parking provided that the new use does not significantly increase the number of parking spaces required.

Appendix A: Map

North Port St Joe - Mixed Use Overlay District



Existing Zoning Designation

- NORTH PSJ MIXED USE
- VERY LOW DENSITY RESIDENTIAL
- RESIDENTIAL (R-2B)
- COMMERCIAL
- LOW INTENSITY INDUSTRIAL
- INDUSTRIAL

North PSJ Mixed Use Overlay District

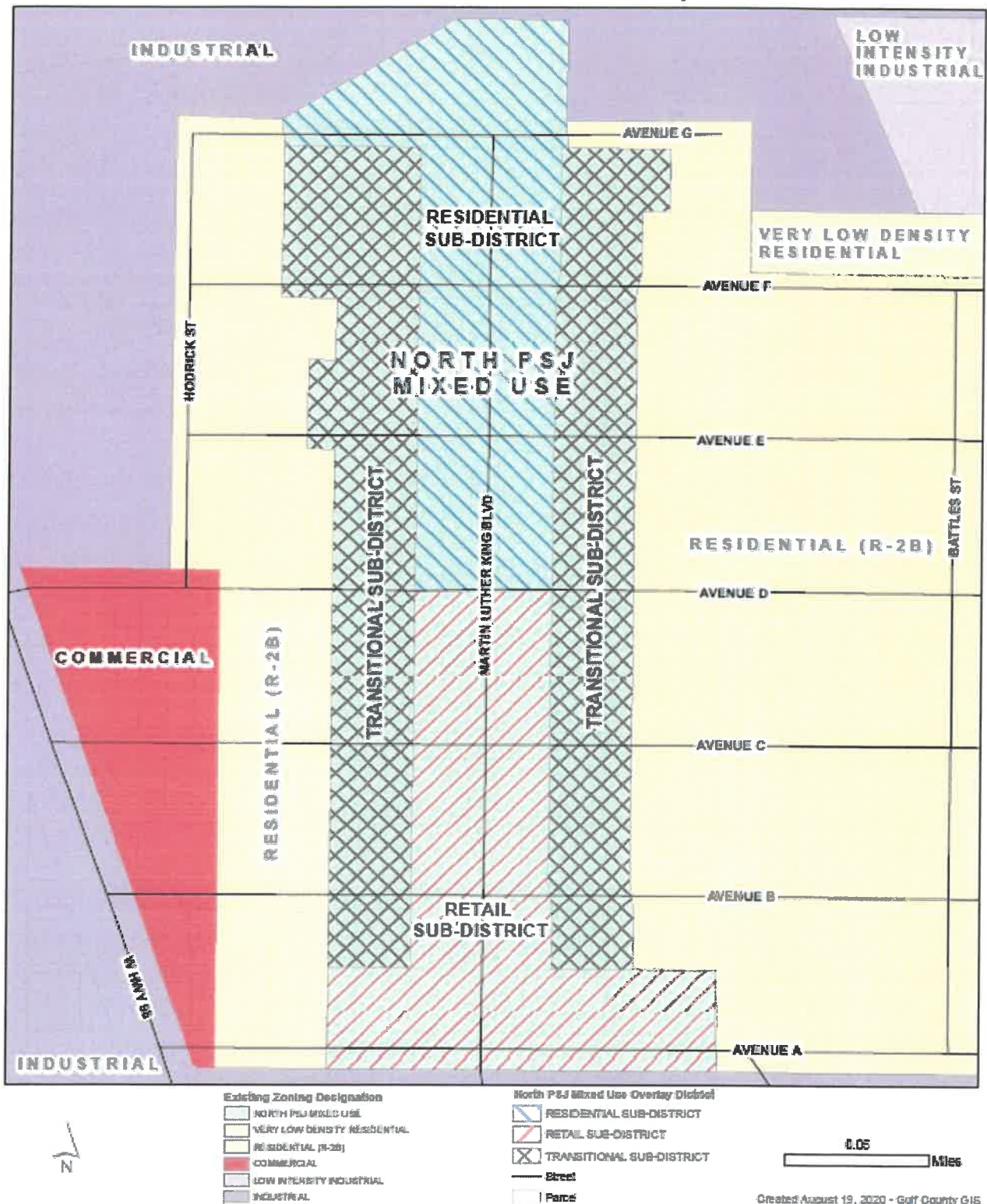
- RESIDENTIAL SUB-DISTRICT
- RETAIL SUB-DISTRICT
- TRANSITIONAL SUB-DISTRICT
- Street
- Parcel

0.05

Miles

EXHIBIT B

North Port St Joe - Mixed Use Overlay District



**CITY OF PORT ST. JOE
SPECIAL EXCEPTION REQUEST APPLICATION**

Property Address: 1620 Palm Blvd Zoning: R-1

Property Owner: Robert L. Nobles Jr Phone: 850-340-1592

Mailing Address: 1620 Palm Blvd City, State, and Zip: Port St Joe FL 32456

Parcel Number: 05219-00012 Applicant if different: _____

[Signature]
Owner signature

Swore to and subscribed before me this 11 day of Sept. 2020. Personally known or produced identification Driver's License.

[Signature]
Signature of Notary Public



PUBLIC NOTICE

A SIGN WILL BE POSTED FOR FIFTEEN DAYS ON THE PROPERTY SEEKING THE SPECIAL EXCEPTION AND A NOTICE WILL BE PUBLISHED IN THE LOCAL NEWSPAPER.

APPLICATION REQUIREMENTS:

- ✓ Application Fee - \$300
- ✓ A letter indicating the section of the LDR under which special exception is being requested
- ✓ Legal Description of Property
- ✓ Copy of the Deed
- ✓ Copy of the Survey
- ✓ Site plan of the proposed improvements

[Signature]
Owner Signature

9-11-2020
Date

[Signature]
Applicant Signature

9-11-2020
Date

To City of Port St. Joe:

Proposed construction of a 16' high 18' wide 40' long Pole Barn, for camper storage. Gravel floor, no walls, metal roof, power for camper and lighting, and engineered construction. Pole Barn will be in the backyard of 1620 Palm Blvd, Port St Joe, Florida 32456. Requesting the Pole Barn be constructed 3' South of the North fence/property line of Lot 27. Thank you for your consideration,
Robert L. Nobles, Jr.

A handwritten signature in black ink, appearing to read "R. L. Nobles, Jr.", with a stylized flourish at the end.

- (10) The maximum intensity shall be no more than 40 percent of lot coverage.

Sec. 3.03. Same--District R-1.

The following uses and regulations shall apply in R-1 residential districts:

- (1) Single-family dwellings.
- (2) Municipally owned or operated parks and playgrounds.
- (3) Municipally owned or operated hospitals, other than an animal hospital.
- (4) Publicly owned and operated libraries, art galleries and museums.
- (5) Medical office buildings if such building was in operation as of October 3, 1995 and within 1,000 feet of the hospital.
- (6) Building height limit: No building shall exceed 35 feet in height, except as provided in subsection 3.10(3) hereof.
- (7) Building site area required: A minimum frontage at the building line of at least 75 feet. If a lot has less area or width than herein required and was of record at the time of the effective date of any ordinance with this requirement, such lot may be occupied by a single-family dwelling, provided, however, that the minimum side, front and rear yard requirements are conformed with as set out in this section.
- (8) Front yard required: There shall be a front yard having a depth of not less than 25 feet measured to the front line of the main building. Where lots comprising 25 percent or more of the frontage on the same street within the block are developed with buildings having an average yard with a variation in depth of not more than six feet, no building hereafter erected or structurally altered shall project beyond the average front yard so established, but no more than 35 feet shall be required. Where the distance between dwellings on adjacent lots is 200 feet or more, the above front yard requirement will not apply. Where interior lots have a double frontage, the required front yard shall be provided on both streets.
- (9) Side yard required: On lots or parcels of land having a width of 100 feet or more, there shall be a side yard on each side of a building of not less than 15 feet. On lots of record as of October 3, 1995 having widths of more than 50 and less than 100 feet, the side yard on each side of the building shall be no less than ten feet. On lots of record as of October 3, 1995 having widths of 50 feet or less, the side yard on each side of the building shall be no less than seven feet.
- (10) Rear yard required: There shall be a rear yard for the main building having a depth of not less than 25 feet.
- (11) Minimum floor area required: The minimum required ground or first floor area, exclusive of porches, terraces, attached garages, carport or unroofed areas, shall be 1,200 square feet for a single-story dwelling and 850 square feet for two-story dwelling.
- (12) The density allowed in district R-1 shall be no more than five (5) dwelling units per acre.
- (13) Home occupations shall not be allowed in district R-1.
- (14) The maximum intensity shall be no more than 40 percent of lot coverage.

Port St. Joe LDR Plan Review

Review Date: 10/7/2020 Reviewed By: K. Simpson
Owner: Robert Nobles Contractor: To Be Determined
Address: 1620 Palm BLVD Parcel ID: 05219-000R

Residential: X Commercial: _____ Industrial: _____
Zoning: R-1 Allowable Use: _____

Project
Description: Special Exception Request 18' x 40' Pole Barn
Requesting a 12' special exception per section 3.03 (9)

Type of Development Order: _____

TAC: _____ PDBR : 11/3/2020 City Commission: _____

Density Units allowed: _____ Proposed Units: _____

Flood Zone: AE Elevation First Finished Floor: _____

Lot Size: .55 acres 23,958' Covered Area Sq. Ft.: _____

House H/C Minimum Required: _____ Proposed: _____

House Footprint: 3033' Garage: _____

Porches: _____ Deck/patio: _____ Shed: _____

Pool/Decking: 648' Driveway: 1696' Other: _____

Covered Area Sq. Ft:

Existing 5,377 New: 720' Total w/ New: 6097'

Height Allowed: 35' Height Proposed: 16'

Impervious Surface Allowed: 40% Total Proposed: 25%

Setbacks required: Front: 25' Rear: 10' Left: 15' Right: 15'

Setbacks proposed: Front: 100' Rear: 21' Left: 130' Right: 3'



Parcel Summary

Parcel ID 05219-000R
Location Address 1620 PALM BLVD
 PORT ST JOE 32456
Brief Tax Description* CITY OF PORT ST. JOE LOTS 26, 27 & N 20 FT OF LOT 25 ORB 98/841 FR SMITH BLK 68 MAP 50D
**The Description above is not to be used on legal documents.*
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 12-8S-11W
Tax District City of Port St Joe (District 5)
Millage Rate 17.1631
Acreage 0.550
Homestead Y

[View Map](#)

Owner Information

Primary Owner
 Nobles Robert Jr & Janet
 1620 Palm Blvd
 Port St Joe, FL 324562176

Land Information

Code	Land Use	Frontage	Depth
500000	PSJ LOT	150	160

Residential Buildings

Building 1
Type SFR
Total Area 3,033
Heated Area 2,161
Exterior Walls WD ON PLY; COMMON BRK
Roof Cover METAL ROOF
Interior Walls DRYWALL
Frame Type WOOD FRAME
Floor Cover LAM WD FL; CARPET
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 3
Stories 1
Effective Year Built 2010

*Effective Year is simply the difference between economic life and remaining economic life of the structure.

The year is evident by the condition and utility of the structure.

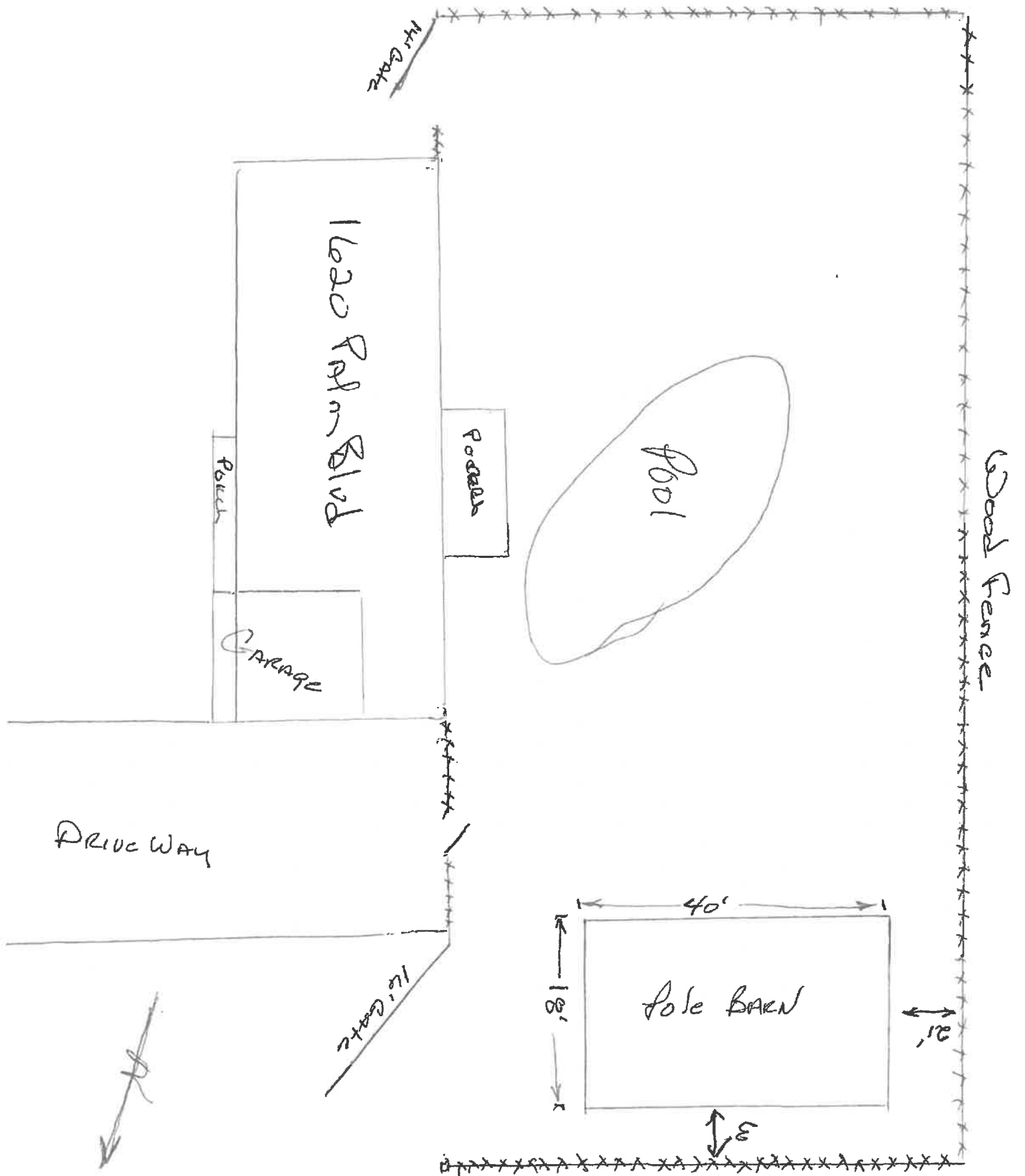
The Effective Year may or may not represent the Actual Year Built.

Extra Features

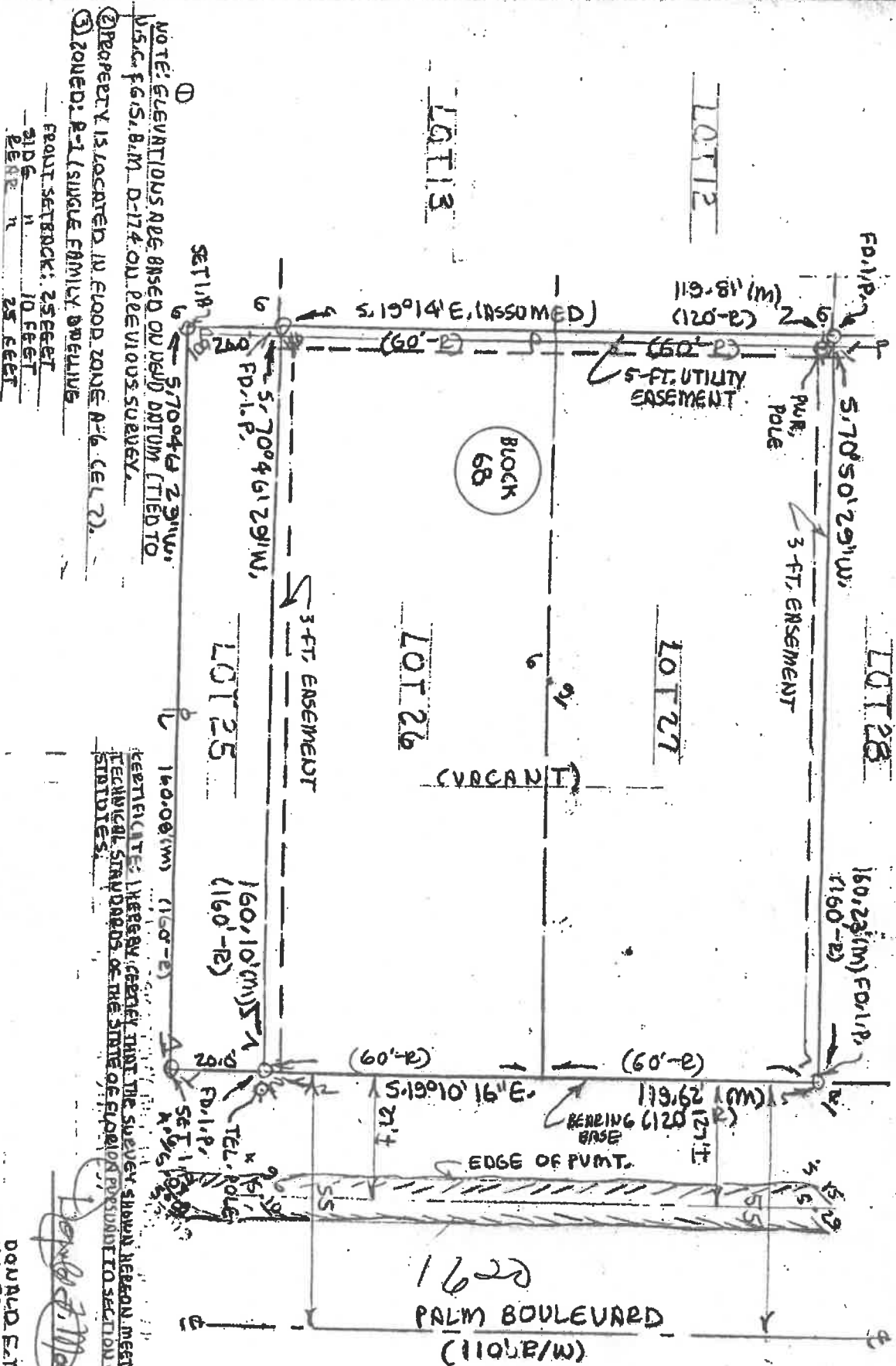
Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0284	POOL RES (*)	1	18 x 36 x 0	108	UT	1989
0261	PAVEMENT CONC (*)	1	106 x 16 x 0	1,696	SF	1989

Valuation

	2020 Working Values	2019 Certified Values
Building Value	\$162,284	\$55,499
Extra Features Value	\$8,236	\$8,236
Land Value	\$80,000	\$75,000
Land Agricultural Value	\$0	\$0
Agricultural (Market) Value	\$0	\$0
Just (Market) Value	\$250,520	\$138,735
Assessed Value	\$79,835	\$124,424
Exempt Value	\$50,000	\$50,000
Taxable Value	\$29,835	\$74,424



DESCRIPTION: LOTS 26 AND 27, AND THE NORTH 20 FEET OF LOT 25, ALL BELONGS TO BLOCK 68, CITY OF PALM SPRING, FLORIDA. THE ABOVE PARCELS ARE SHOWN ON THE PLAT BOOK, PAGE 37, PUBLIC RECORDS OF PALM SPRING, FLORIDA. (CONSIDERATION OF PREVIOUS RECORDS IN OFFICIAL RECORDS, BOOK 28, PAGE 84, PUBLIC RECORDS OF PALM SPRING, FLORIDA)



NOTE: ELEVATIONS ARE BASED ON MEAN DATUM (TIED TO U.S.C. F.G.S. B.M. D-174 ON PREVIOUS SURVEY).

PROPERTIES LOCATED IN ZONE 18-6 (C.L. 2).

3 ZONED: P-1 (SINGLE FAMILY DWELLING)

FRONT SETBACK: 25 FEET

SIDE " " 10 FEET

REAR " " 25 FEET

DAVID E. MOWERY JR.
REGISTERED SURVEYOR NO. 1939
STATE OF FLORIDA

FORBET KNOWLES - BODY & SPOT ELEVATIONS.

84-1004

841

THIS INSTRUMENT
PREPARED BY:

FRED N. WITTEN

Attorney at Law

408 Long Avenue
FORT ST. JOE, FLORIDA 32456

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 23rd day of April 1984, Between

HARRY LEE SMITH, a single man
of the County of Gulf State of Florida, grantor, and
ROBERT LAWRENCE NOBLES, JR., and Wife, JANET F. NOBLES
whose post office address is P.O. Box 545, Port St. Joe, Florida 32456

of the County of Gulf State of Florida, grantee,

Witnesseth, That said grantor, for and in consideration of the sum of Ten-----
(\$10.00) Dollars,

and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the fol-
lowing described land, situate, lying and being in Gulf County, Florida, to-wit:

PARCEL 1. The North Twenty feet (20') of Lot
Twenty-five (25) in Block Sixty-eight (68),
according to the official map of the City of
Port St. Joe, Florida, according to the
official plat thereof on file in the Office of
the Clerk of Circuit Court, Gulf County, Florida.

PARCEL 2. The South Fifty feet (50') of Lot
Twenty-six (26) in Block Sixty-eight (68),
according to the official map of the city of
Port St. Joe, Florida, on file in the Office of
Clerk of Circuit Court, Gulf County, Florida.

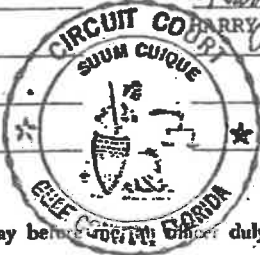
PARCEL 3. The North Ten Feet of Lot 26 and all
of Lot 27 in Block 68, according to the official
map of the City of Port St. Joe, Florida, on file
in the office of Clerk of Circuit Court, Gulf
County, Florida

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims
of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Fred N. Witten (Seal)
Robert L. Nobles, Jr. (Seal)
Harry Lee Smith (Seal)
Janet F. Nobles (Seal)



STATE OF FLORIDA
COUNTY OF GULF

I HEREBY CERTIFY that on this day before me, Donna L. Ray, duly qualified to take acknowledgments, personally
appeared

HARRY LEE SMITH
to me known to be the person described in and who executed the foregoing instrument and acknowledged before
me that he executed the same.
WITNESS my hand and official seal in the County and State first aforesaid this 23rd day of April,
19 84.

My commission expires: 9-9-84

Notary Public, State of Florida at Large
My Commission Expires Sept. 9, 1984
Should Then Pay into Treasury Fee

Received \$ 90 For Excise Taxes due,
pursuant to Chapter 201, Laws of Florida,
Acts of 1981. By Jerry Estes, Clerk Circuit Court
Gulf County Florida

By Beverly Daniels

841

October 7, 2020

To Whom it May Concern,

RE: 1620 Palm BLVD.
Port St. Joe, Florida 32456

This letter is to inform you of your neighbor's, Robert Nobles, intent to file for a Special Exception in reference to pole barn setbacks for the property located at 1620 Palm BLVD. The City of Port St. Joe will hold a meeting to discuss the request for this Special Exception on Tuesday, November 3rd, 2020, at 4:00 PM EST, at the Commission Chamber in the Ward Ridge Building located at 2775 Garrison Ave. Port St. Joe, FL 32456. The reason for the request is per section 3.03 (9), f. of the Land Development Regulations, see attached copy. The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and I can be reached for questions at (850) 229-1093.

Thank you,

Kelly Simpson
EPCI Code Administration Services
City of Port St. Joe Building Department

CARNES JENNIFER W (TRUSTEE)
2712 LUCERNE DRIVE
TALLAHASSEE, FL 32303

✓ HANDLEY JAMES EVERETT
1616 PALM BLVD
PORT ST JOE, FL 32456-2176

NOBLES ROBERT JR & JANET
1620 PALM BLVD
PORT ST JOE, FL 32456-2176

own

RICHARDSON PATRICK & GRETCHEN
135 COLEMANS BLUFF DR
WOODSTOCK, GA 30188

✓ WHITE SUZANNE L
1607 MONUMENT AVE
PORT ST JOE, FL 32456

CURRENT RESIDENT
1607 MONUMENT AVE
PORT ST JOE, FL 32456

CURRENT RESIDENT
1616 PALM BLVD
PORT ST JOE, FL 32456

CURRENT RESIDENT
1619 A-B MONUMENT AVE
PORT ST JOE, FL 32456

CURRENT RESIDENT
1620 PALM BLVD
PORT ST JOE, FL 32456

CURRENT RESIDENT
1624 PALM BLVD
PORT ST JOE, FL 32456

I approve the installation of a
16x18x40' Pole Barn, in the back yard
for camper storage, 3 feet from the
North Side of 1620 Palm Blvd Port St
Joe, FL.

YES

NO

Signature:

Paul Richardson
1624 Palm Blvd
PSJ FL
32456

I approve the installation of a
16x18x40' Pole Barn, in the back yard
for camper storage, 3 feet from the
North Side of 1620 Palm Blvd Port St
Joe, FL.

YES

NO

Signature: *Suzanne White*
1607 Monument Ave
Port St. Joe, FL
32456

I approve the installation of a
16x18x40' Pole Barn, in the back yard
for camper storage, 3 feet from the
North Side of 1620 Palm Blvd Port St
Joe, FL.

YES

NO

Signature:

James Handley
1616 Palm Blvd-

PUBLIC NOTICE

The City of Port St. Joe's Planning, Development, and Review Board (PDRB) will hold a Meeting to discuss a request for a **Special Exception on November 3rd, 2020, at 4:00 P.M. EST.**

The Public Hearing will be held in the Commission Chamber in the Ward Ridge Building at 2775 Garrison Avenue, Port St. Joe, Florida 32456 for **Robert Nobles** located at **1620 Palm BLVD., Parcel # 05219-000R.** The reason for the request is **Per Section 3.03 (9) of the Land Development Regulations referencing side yard setbacks for a pole barn.** The proposed plans can be reviewed at the Building Department located at 1002 10th St. and can be reached for questions at 850-229-1093.

All persons are invited to attend this meeting. Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning, Development, and Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr. Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850) 229-8261.

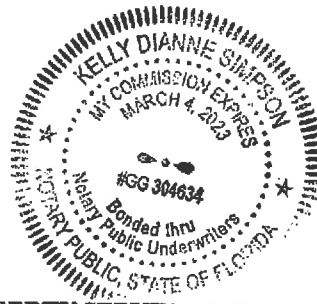
**CITY OF PORT ST. JOE
SPECIAL EXCEPTION REQUEST APPLICATION**

Property Address: 2003 CYPRESS AVE Zoning: _____
Property Owner: NORMAN & PHYLLIS BIXLER Phone: 850-227-7404 (H) 850-832-1388(c)
Mailing Address: SAME AS ABOVE City, State, and Zip: PORT ST JOE, FL 32456
Parcel Number: _____ Applicant if different: _____

Owner signature _____

Swore to and subscribed before me this 5 day of OCT. 2020. Personally known or
produced identification Driver's License

Signature of Notary Public _____



PUBLIC NOTICE

**A SIGN WILL BE POSTED FOR FIFTEEN DAYS ON THE PROPERTY SEEKING THE
SPECIAL EXCEPTION AND A NOTICE WILL BE PUBLISHED IN THE LOCAL
NEWSPAPER.**

APPLICATION REQUIREMENTS:

- Application Fee - \$300
- A letter indicating the section of the LDR under which special exception is being requested
- Legal Description of Property
- Copy of the Deed
- Copy of the Survey
- Site plan of the proposed improvements

Owner Signature _____

Date _____

Applicant Signature _____

Date _____

THE CARPORT (22'X 26') IS BEING
ERECTED APPROX 45' FROM PROPERTY LINE
ON DRIVEWAY (NORTH SIDE OF HOUSE) ON
2003 CYPRESS AVE PSJ, FL
THE CARPORT IS FREE STANDING, AS TO BE
5' FROM PROPERTY LINE AND NOT ADJOINING HOUSE.

N E Bixler

NORMAN E. BIXLER

05 OCT 2020

850-227-7404

- (10) The maximum intensity shall be no more than 40 percent of lot coverage.

Sec. 3.03. Same--District R-1.

The following uses and regulations shall apply in R-1 residential districts:

- (1) Single-family dwellings.
- (2) Municipally owned or operated parks and playgrounds.
- (3) Municipally owned or operated hospitals, other than an animal hospital.
- (4) Publicly owned and operated libraries, art galleries and museums.
- (5) Medical office buildings if such building was in operation as of October 3, 1995 and within 1,000 feet of the hospital.
- (6) Building height limit: No building shall exceed 35 feet in height, except as provided in subsection 3.10(3) hereof.
- (7) Building site area required: A minimum frontage at the building line of at least 75 feet. If a lot has less area or width than herein required and was of record at the time of the effective date of any ordinance with this requirement, such lot may be occupied by a single-family dwelling, provided, however, that the minimum side, front and rear yard requirements are conformed with as set out in this section.
- (8) Front yard required: There shall be a front yard having a depth of not less than 25 feet measured to the front line of the main building. Where lots comprising 25 percent or more of the frontage on the same street within the block are developed with buildings having an average yard with a variation in depth of not more than six feet, no building hereafter erected or structurally altered shall project beyond the average front yard so established, but no more than 35 feet shall be required. Where the distance between dwellings on adjacent lots is 200 feet or more, the above front yard requirement will not apply. Where interior lots have a double frontage, the required front yard shall be provided on both streets.
- (9) Side yard required: On lots or parcels of land having a width of 100 feet or more, there shall be a side yard on each side of a building of not less than 15 feet. On lots of record as of October 3, 1995 having widths of more than 50 and less than 100 feet, the side yard on each side of the building shall be no less than ten feet. On lots of record as of October 3, 1995 having widths of 50 feet or less, the side yard on each side of the building shall be no less than seven feet.
- (10) Rear yard required: There shall be a rear yard for the main building having a depth of not less than 25 feet.
- (11) Minimum floor area required: The minimum required ground or first floor area, exclusive of porches, terraces, attached garages, carport or unroofed areas, shall be 1,200 square feet for a single-story dwelling and 850 square feet for two-story dwelling.
- (12) The density allowed in district R-1 shall be no more than five (5) dwelling units per acre.
- (13) Home occupations shall not be allowed in district R-1.
- (14) The maximum intensity shall be no more than 40 percent of lot coverage.

Port St. Joe LDR Plan Review

Review Date: 10/7/2020 Reviewed By: K. Simpson
Owner: Norman & Phyllis Bixler Contractor: To Be Determined
Address: 2003 Cypress Ave Parcel ID: 05679-001R

Residential: X Commercial: _____ Industrial: _____
Zoning: R-1 Allowable Use: _____

Project
Description: Special Exception Request for a 22' x 26' Carport
Requesting a 10' Special Exception per section 3.03 (9)
Type of Development Order: _____
TAC: _____ PDBR: 11/3/2020 City Commission: _____

Density Units allowed: _____ Proposed Units: _____

Flood Zone: X/ AE Elevation First Finished Floor: _____

182'x 123'

Lot Size: .53 acres 23086.8' Covered Area Sq. Ft.: _____

House H/C Minimum Required: _____ Proposed: _____

House Footprint: 3066' Garage: _____

Porches: _____ Deck/patio: _____ Shed: _____

Pool/Decking: 512' Driveway: _____ Other: _____

Covered Area Sq. Ft:

Existing 3578' New: 572' Total w/ New: 4150'

Height Allowed: 35' Height Proposed: 16'

Impervious Surface Allowed: 40% Total Proposed: 18%

Setbacks required: Front: 25' Rear: 10' Left: 15' Right: 15'

Setbacks proposed: Front: 45' Rear: 52' Left: 5' Right: 96'



STANDARD CARPORTS 12'-24'

STANDARD FEATURES

11 gauge galvanized steel framing with center bracing and 29 gauge metal roofing. All base units have 6" legs spaced 5' on center or less and 1/2" leg braces for added strength and stability. Concrete or rebar anchors included.



VERTICAL ROOF STYLE

12x21	18x21	20x21	22x21	24x21
\$1,295	\$1,495	\$1,745	\$1,995	\$2,095
12x26	18x26	20x26	22x26	24x26
\$1,695	\$1,845	\$2,095	\$2,445	\$2,545
12x31	18x31	20x31	22x31	24x31
\$2,045	\$2,195	\$2,395	\$2,895	\$3,095
12x36	18x36	20x36	22x36	24x36
\$2,395	\$2,545	\$2,845	\$3,345	\$3,545
12x41	18x41	20x41	22x41	24x41
\$2,745	\$2,995	\$3,195	\$3,895	\$4,095



BOXED EAVE ROOF STYLE

12x21	18x21	20x21	22x21	24x21
\$1,095	\$1,295	\$1,545	\$1,695	\$1,895
12x26	18x26	20x26	22x26	24x26
\$1,295	\$1,445	\$1,695	\$2,045	\$2,345
12x31	18x31	20x31	22x31	24x31
\$1,545	\$1,795	\$2,045	\$2,395	\$2,695
12x36	18x36	20x36	22x36	24x36
\$1,795	\$2,045	\$2,395	\$2,745	\$3,145

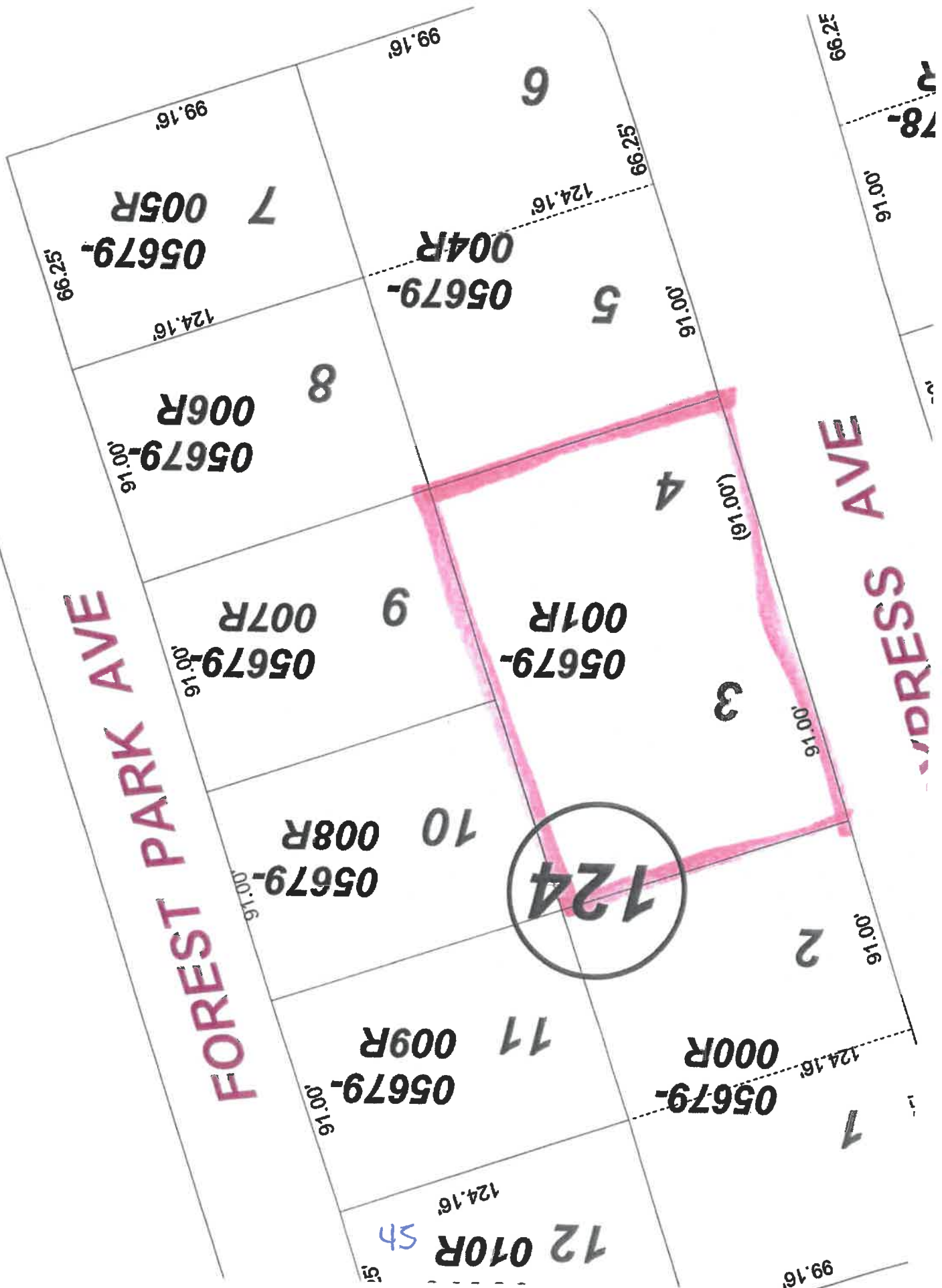


REGULAR ROOF STYLE

12x21	18x21	20x21	22x21	24x21
\$995	\$1,195	\$1,445	\$1,595	\$1,695
12x26	18x26	20x26	22x26	24x26
\$1,195	\$1,345	\$1,595	\$1,945	\$2,045
12x31	18x31	20x31	22x31	24x31
\$1,445	\$1,595	\$1,945	\$2,295	\$2,495
12x36	18x36	20x36	22x36	24x36
\$1,695	\$1,845	\$2,295	\$2,645	\$2,845

FOREST PARK AVE

ADDRESS AVE



DATE July 17, 1978

Mr. and Mrs. Norman E. Bixler
1804 Garrison Avenue
Port St. Joe, Florida 32456

SUBJECT Bixler Bank Loan

Dear Mr. and Mrs. Bixler:

Please find enclosed the following copies of documents prepared in the above transaction:

Mortgage and Promissory Note
Notice of Right of Rescission
Statement of Costs and Disbursements
Copy of Correspondence

Also, please find enclosed:

Recorded Mortgage Cancellation (Citizens Federal)
Special Warranty Deed (from St. Joseph Land & Develop. Co.)

Hopefully, this matter has been concluded to your satisfaction.

Sincerely,



Robert M. Moore

RMM/wm
Encls

339.50

339.50

TO BE DISBURSED BY BANK\$ 17,000.00

known to me to be the individual____s described, and acknowledged that they executed the foregoing satisfaction and cancellation for the uses and purposes set forth therein.

Given under my hand and official seal, this 13th day of July, 1978

46

Luth. W. Patterson
Notary Public, State of Florida at L.S.

NOTARY PUBLIC, STATE OF FLORIDA

THIS INDENTURE, made this 1st day of April, A. D. 1976,
between ST. JOSEPH LAND AND DEVELOPMENT COMPANY
Corporation with its principal office in Jacksonville, Duval County, Florida, party of the first part, and
Norman E. Bixler and his wife, Phyllis T. Bixler, a Florida
of the County of Gulf, in the State of Florida, and whose address is
1004 Garrison Avenue, Port St. Joe, Florida, parties of the second part.
WITNESSETH: That the said party of the first part for and in consideration of the sum of Ten and
No/100 - - - - - Dollars, and other valuable considerations to it in hand paid by the
parties of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and sold
to the said parties of the second part, their heirs, and assigns forever, the following described land, lying
and being in the County of Gulf, and state of Florida, to-wit:

Lot Three (3) and North Half Lot Four (N $\frac{1}{2}$ -4), Block One Hundred Twenty-
four (124) of St. Joseph's Addition of the City of Port St. Joe, Florida,
Unit No. 9, according to plat thereof recorded in Plat Book 2, Page 12,
of the public records of Gulf County, Florida.

SUBJECT, however, to all taxes and assessments levied or assessed against the same subsequent to December
31, 1975; and SUBJECT also to: All applicable restrictive covenants, conditions,
reservations and easements shown by said public records, and the lien
of any special assessments levied, or to be levied, for special improve-
ments by the City of Port St. Joe, Florida.

FILED FOR RECORD
GULF COUNTY, FLA.
RECORD VERIFIED
65
APR 14 1976
CLERK CIRCUIT COURT
BY: [Signature]



by
oe, Fla.

DEDICATION



DEDICATION

James H. Higgins
VICE PRESIDENT
Shirley H. Higgins
SECRETARY

I WOULD SAY THAT THIS PLAY IS A CORRECT REPRESENTATION OF THE LAND PLAYED AND DECEASED ABOVE. AND THAT THE REMAINING NON-REPRESENTATIVE HAVE BEEN PLACED AROUND TO THE FRONT.

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES THE 22 DAY OF APRIL 2008

APPROVED THIS 2ND DAY OF June 1928.
BOARD OF COUNTY COMMISSIONERS of Franklin COUNTY, A. D. 1928.

10/10/10

LESEN

CHECK OF CREDIT ~~FOR~~ FOR ~~THE~~ THE ~~REASON~~ REASON

October 7, 2020

To Whom it May Concern,

RE: 2003 Cypress Ave.
Port St. Joe, Florida 32456

This letter is to inform you of your neighbors', Norman & Phyllis Bixler, intent to file for a Special Exception in reference to carport setbacks for the property located at 2003 Cypress Ave. The City of Port St. Joe will hold a meeting to discuss the request for this Special Exception on Tuesday, November 3rd, 2020, at 4:00 PM EST, at the Commission Chamber in the Ward Ridge Building located at 2775 Garrison Ave. Port St. Joe, FL 32456. The reason for the request is per section 3.03 (9) of the Land Development Regulations, see attached copy. The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and I can be reached for questions at (850) 229-1093.

Thank you,

Kelly Simpson
EPCI Code Administration Services
City of Port St. Joe Building Department

✓ 05678-007	MILLER RONALD W & BRENDA G	2004 CYPRESS AVE	PORT ST JO
✓ 05678-008	MADSEN JOE & CAROLINE	2002 CYPRESS AVE	PORT ST JO
✓ 05679-000	GRIFFIN WILLIAM E ET UX	702 20TH STREET	PORT ST JO
✓ 05679-004	SUMMERS CLYDE EDWARD	2005 CYPRESS AVE	PORT ST JO
✓ 05679-005	THE ST JOE COMPANY	ATTN: TAX DEPARTMENT	PANAMA C
		130 RICHARD JACKSON BLVD SUITE 200	

PUBLIC NOTICE

The City of Port St. Joe's Planning, Development, and Review Board (PDRB) will hold a Meeting to discuss a request for a **Special Exception** on **November 3rd, 2020, at 4:00 P.M. EST.** The Public Hearing will be held in the Commission Chamber in the Ward Ridge Building at 2775 Garrison Avenue, Port St. Joe, Florida 32456 for **Norman & Phyllis Bixler** located at **2003 Cypress Ave., Parcel # 05679-001R.** The reason for the request is **Per Section 3.03 (9) of the Land Development Regulations referencing side yard setbacks for a carport.** The proposed plans can be reviewed at the Building Department located at 1002 10th St. and can be reached for questions at 850-229-1093.

All persons are invited to attend this meeting. Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning, Development, and Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr. Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850) 229-8261.

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. X Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.

 ** Setbacks are measured from the closest overhang to property line**

 A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. X Development Order Packet
3. N/A New Address application
4. Complete City water meter impact form
5. Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address Madison St. and Garrison Ave. NW Quadrant

Lot Square Footage: 602,348 SqFt Dwelling Square Footage: 186,370 SqFt

Driveway Square Footage: 53,491 SqFt Accessory Building Square Footage: 3,753 SqFt

Pool Square Footage: 1,250 SqFt Patio/Deck Square Footage: 3,019 SqFt

Setbacks: Front: 15.0' Left Side: 7.0'

Rear: 7.0' Right Side: 7.0'

Floor Area Ratio: 31.67% Lot Coverage: 392,581 SqFt

Building Height in Feet: Max. 27 ft Impervious Surface: 325,616 SqFt

Landscape Buffers: (height x width) 10' Wide x 6' High Elevation: N/A
(Along North Property Boundary Only)

Stephen Wolfe

Applicant Name

1176 Peachtree St, Atlanta GA, 30309

Applicant Address

404-936-1674

Phone Number

Applicant Signature

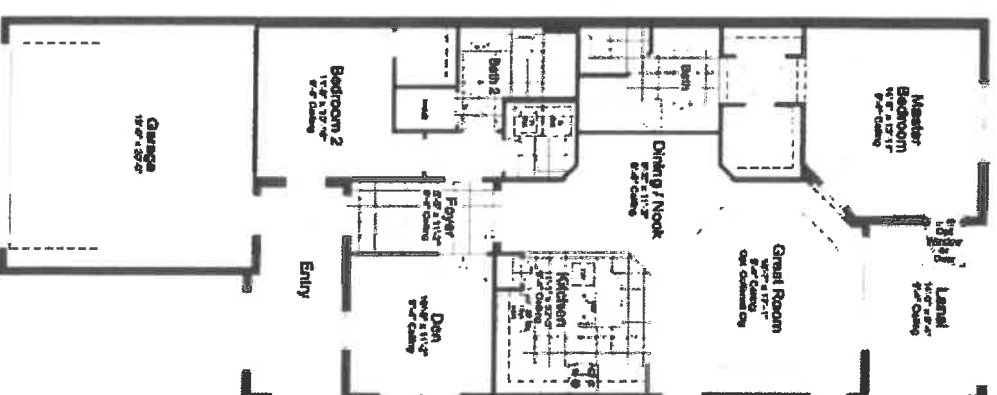
Date

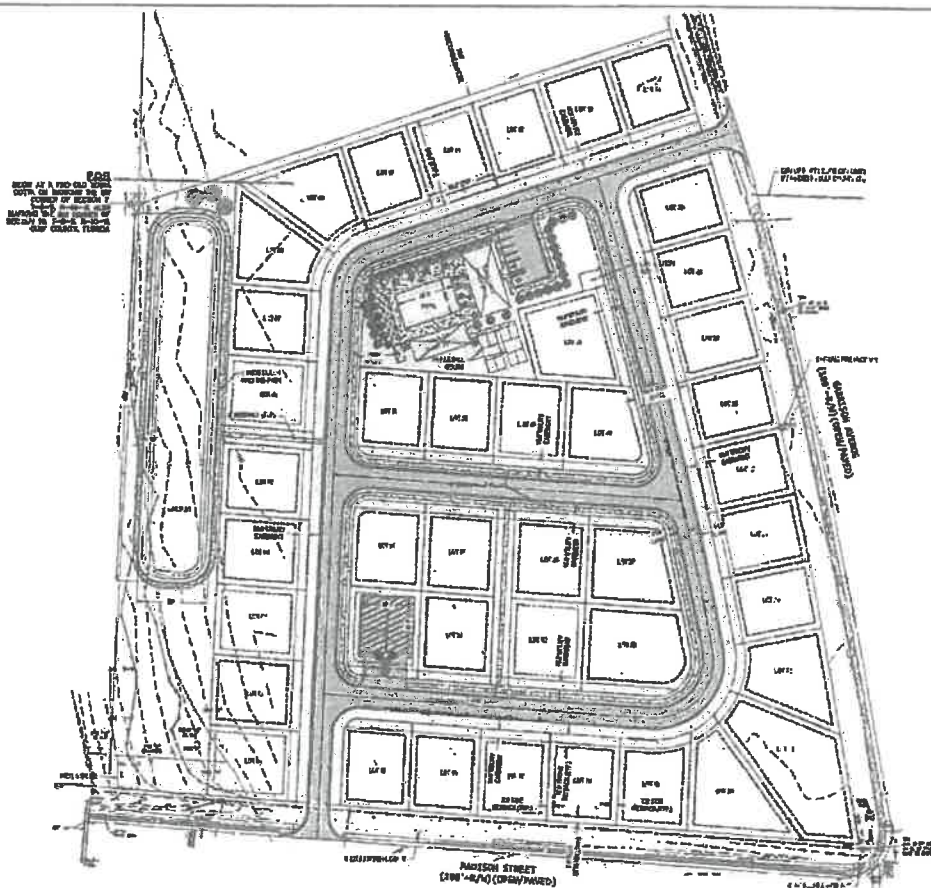
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Madison-Garrison PUD Proposal 2019



Exhibit 1
Ward Ridge Look Book







PRELIMINARY SITE PLAN

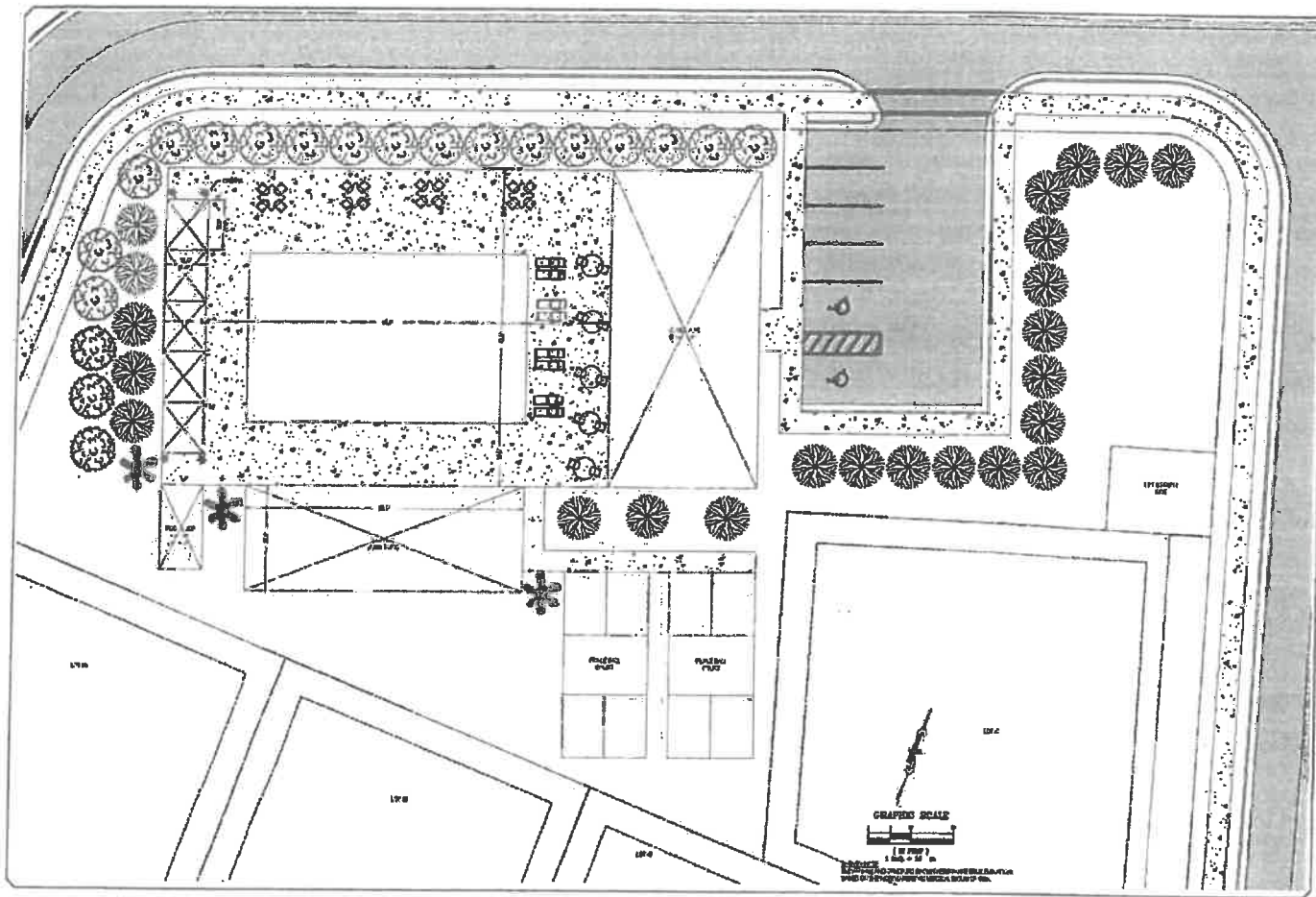
MADISON GARRISON PLANNED UNIT DEVELOPMENT

PREPARED BY: SBE ENGINEERING, INC.

DATE: 08/11/10

PROJECT NO: 10-001

LOCATION: 1000 S. MADISON STREET, APT. 1000, TAMPA, FL 33606



SCE
SOUTHERN CALIFORNIA ELECTRIC
1000 WEST 10TH STREET
LOS ANGELES, CA 90015
TEL: 213.215.1000
FAX: 213.215.1001
WWW.SCE.COM

ENLARGED AMENITY SITE PLAN
MADISON GARRISON PLANNED UNIT DEVELOPMENT
DEVILAS PARTNERS, LLC
GULF COUNTY, FLORIDA

PROJECT NUMBER: 10-007-01
DATE: 10/10/10
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
APPROVED BY: J. HARRIS
PROJECT: MADISON GARRISON PLANNED UNIT DEVELOPMENT
SHEET: 1 OF 1
SCALE: AS SHOWN

PUBLIC NOTICE

Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, **Tuesday, November 3rd, 2020, at 4:00 P.M. EST** and at the Regular City Commission Meeting on **Tuesday, November 17th, 2020, at 12:00 P.M. EST** at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

Development Order for Arazzo on Madison
Address To Be Determined: Located at the corner of
Madison St. & Garrison Ave.
Parcels: 03040-001R & 03037-000R

Interested persons may attend and be heard at the public hearings or provide comments in writing to the Planning and Development Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Sr. Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850)229-8261.

PUBLIC NOTICE

RE: The Arazzo on Madison

Address: To Be Determined; Corner of Madison St. & Garrison Ave.

Parcels: 03040-001R & 03037-000R

This letter is to inform you that Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, **Tuesday, November 3rd, 2020, at 4:00 P.M. EST** and at the Regular City Commission Meeting on **Tuesday, November 17th, 2020, at 12:00 P.M. EST** at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

Development Order for Arazzo on Madison

Address To Be Determined: Located at the corner of Madison St. & Garrison Ave.

Parcels: 03040-001R & 03037-000R

The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and can be reached for questions at (850) 229-1093 from 8 A.M. – 4 P.M. EDT, Monday through Friday.

Thank you,

Kelly Simpson

EPCI Code Administration Services

City of Port St. Joe Building Department

ParcelId	OwnerName	OwnerAddress1	OwnerCityStZip	Country
03057-002R	ADAMS JOEL DENNY ET UX	89 TALL TIMBERS RD	HAVANA, FL 32333	
03060-003R	✓ HENDERSON MARGIE M	111 MONICA DR	PORT ST JOE, FL 32456-2401	
03063-000R	✓ BUTLER CHASE L & KATARINA A	107 MONICA DR	PORT ST JOE, FL 32456	
03063-001R	LITTLE LOUIE J JR	105 MONICA DR	PORT ST JOE, FL 32456	
03064-000R	✓ WHITE JAMES S & IMA JEAN	109 MONICA DR	PORT ST JOE, FL 32456-2401	
03069-000R	MC CROAN PHILLIP J & BRITTANY	PO BOX 819	PORT ST JOE, FL 32457	
03040-010R	✓ COMFORTER W P JR	501 7TH ST	PORT ST JOE, FL 32456	
06066-000R	✓ THE ST JOE COMPANY	ATTN: TAX DEPARTMENT	PANAMA CITY BEACH, FL 32407	
03060-002R	FIGUEIRA CYNTHIA	103 MONICA DRIVE	PORT ST JOE, FL 32456-2401	
03019-000R	✓ PTW LLC	PO BOX 280	PORT ST JOE, FL 32457-0280	

ParcelId	OwnerName	Address	City	State	Zip
03057-002R	CURRENT RESIDENT	2804 GARRISON AVE	PORT ST JOE	FL	32456
03060-003R	CURRENT RESIDENT	111 MONICA DR	PORT ST JOE	FL	32456
03063-000R	CURRENT RESIDENT	107 MONICA DR	PORT ST JOE	FL	32456
03063-001R	CURRENT RESIDENT	105 MONICA DR	PORT ST JOE	FL	32456
03064-000R	CURRENT RESIDENT	109 MONICA DR	PORT ST JOE	FL	32456
03069-000R	CURRENT RESIDENT	101 MONICA DR	PORT ST JOE	FL	32456
03037-000R	CURRENT RESIDENT	MADISON ST	PORT ST JOE	FL	32456
03038-002R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03040-002R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03040-010R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
06066-000R	CURRENT RESIDENT	N/A	PORT ST JOE	FL	32456
03060-002R	CURRENT RESIDENT	103 MONICA DR	PORT ST JOE	FL	32456
03040-001R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03040-003R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03019-000R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03019-025R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
03019-026R	CURRENT RESIDENT	GARRISON AVE	PORT ST JOE	FL	32456
06076-002R	CURRENT RESIDENT	MADISON ST	PORT ST JOE	FL	32456

ORDINANCE NO. 567

AN ORDINANCE OF THE CITY OF PORT ST. JOE, FLORIDA, RELATING TO AND AMENDING THE ZONING CODE; AMENDING THE CITY OF PORT ST. JOE ZONING MAP; DESIGNATING AND ESTABLISHING THE MADISON GARRISON PLANNED UNIT DEVELOPMENT ZONING DISTRICT; ADOPTING CERTAIN REGULATORY REQUIREMENTS FOR THE MADISON GARRISON PLANNED UNIT DEVELOPMENT ZONING DISTRICT TO SUPERSEDE REQUIREMENTS IN THE CITY OF PORT ST. JOE ZONING CODE; PROVIDING FOR REPEAL OF ANY CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, The City of Port St. Joe ("City") has deemed it appropriate to establish a planned unit development for a community ("Madison Garrison Planned Unit Development Zoning District") to be located on a parcel of land which is legally described in Exhibit "A", attached and incorporated herein ("Property"); and

WHEREAS, on December 3, 2019, the Planning and Development Review Board for the City, recommended approval of the Madison Garrison Planned Unit Development Zoning District ; and

WHEREAS, The Madison Garrison Planned Unit Development Zoning District is intended to consist of a residential development that includes recreational amenities that include a club house; and

WHEREAS, The Madison Garrison Planned Unit Development Zoning District will be served by City water and sewer facilities; and

WHEREAS, The Madison Garrison Planned Unit Development Zoning District will comply with the all applicable stormwater management requirements for the Property; and

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF CITY COMMISSIONERS OF THE CITY OF PORT ST. JOE, FLORIDA:

SECTION 1. NAME

This Ordinance shall be known as the implementing ordinance for the Madison Garrison Planned Unit Development Zoning District.

SECTION 2. CONSISTENCY WITH CITY OF PORT ST. JOE COMPREHENSIVE PLAN

The Board of City Commissioners hereby finds and determines that the Madison Garrison Planned Unit Development Zoning District is consistent with the goals, objectives and policies of the City of Port St. Joe Comprehensive Plan, including but not limited to Future Land Use Element Policy 1.3.4, Medium Density Residential R-2.

SECTION 3. APPROVAL

The establishment of the Madison Garrison Planned Development Zoning District on the lands legally described in Exhibit "A", which is attached hereto and incorporated herein by this reference, is hereby approved subject to the conditions in this Ordinance.

SECTION 4. PERMITTED USES

The following uses shall be principal permitted uses within all areas of the Madison Garrison Planned Unit Development Zoning District:

A. Residential. Provides for single family and multi-family residential units. Density shall not exceed seven (7) units per gross acre.

B. Recreation. Active recreation means recreational lands and improvements that are facility oriented which may require equipment and take place at prescribed places, or sites, which may include a club house. Passive recreation means recreational lands and improvements that are natural resource oriented. Passive recreational facilities include, but are not limited to walking, nature and bike trails, stormwater management facilities, viewing platforms, boardwalks, picnic areas and bird watching.

G. Permitted Accessory and Ancillary Uses. The following shall be accessory permitted uses within all areas of the Madison Garrison Planned Unit Development Zoning District: Uses of land customarily incidental and subordinate to one of the permitted principal uses, including but not limited to a sales center, parking facilities and other uses or facilities associated with the support of the permitted principal uses.

SECTION 5. DEVELOPMENT STANDARDS

A. All residential, uses shall be served by central potable water facilities and central wastewater facilities, as provided by the City.

B. All development within the Madison Garrison Planned Unit Development Zoning District shall be in compliance with all applicable land development regulations of the City of Port St. Joe, except as otherwise contained in this Ordinance.

C. The minimum setbacks for residential units shall be as follows:
Front Setback: Fifteen (15) Feet
Side Setback: Seven (7) Feet
Rear Setback: Seven (7) Feet

D. There shall be a minimum lot size of 2,000 square feet and a minimum square feet of living area of 1,000 square feet. 62

- E. Maximum overall impervious coverage shall be 60%.
- F. Internal traffic circulation shall be designed to promote pedestrian and bicycle opportunities for residents and guests by providing a functional and integrated system of pedestrian and bicycle paths. The paths can be of an impervious or pervious surface material.
- G. The stormwater management system will be designed to comply with the standards of Chapter 62-330, FAC. and all other applicable regulations.
- H. Streets may be privately owned and maintained and shall be built in accordance with standards and specifications as reasonably approved by the City. Roadway base and asphalt thickness shall be designed by a registered professional engineer taking into consideration recommendations by a geotechnical engineer for site-specific design parameters. All streets shall be inspected and certified by a registered professional engineer.
- I. Signs visible from a public road, which are not otherwise subject to stricter standards imposed on the property, shall be consistent with applicable City regulations.
- J. The club house will be designed to accommodate the residents of Madison Garrison Planned Unit Development Zoning District and will be centrally located to provide for pedestrian walkability and will contain six (6) parking spaces which will include two (2) ADA handicap parking spaces.
- K. All construction shall meet the standards in the Florida Building Code, latest edition.
- L. Section 5.04 of the City of Port St. Joe Land Development Regulation Code ("Code"), as well as any other provisions with respect to buffer zones shall not apply to any portion of the Madison Garrison Planned Unit Development Zoning District. However, a ten (10) feet buffer will be provide along the abutting area of the Old St. Joseph Cemetery.

SECTION 6. DEVELOPMENT PLAN/PLAT PHASING

The Madison Garrison Planned Unit Development Zoning District may be developed through a series of individual phases, with the submission of development plans and preliminary plats per phase. All development plans will be reviewed as a Level 2 Major Development as such term is defined in the Code. The City will review preliminary plats as part of the development review process. The development plan, preliminary plat and appropriate application fees for each phase of development shall be initially submitted to the City for review. Applicants may obtain simultaneous approval of the preliminary plat, development order and development permit approval with respect to each phase of development.

SECTION 7. CREATION OF ZONING DISTRICT

The purpose of this Ordinance is to create the text of the Madison Garrison Planned Unit Development Zoning District. The precise location of the permitted uses will be set forth

in the application for development plan and preliminary plat approval. This Ordinance is not intended as a unified plan of development.

SECTION 8. ENFORCEMENT

The City may enforce this Ordinance as authorized by law.

SECTION 9. OTHER ORDINANCES

Except as specifically modified or changed in this Ordinance, all provisions of the Code shall apply in the same manner as throughout the City.

SECTION 10. ZONING MAP

Upon this Ordinance becoming effective, the City of Port St. Joe Zoning Map shall be amended to show the property described on attached Exhibit "A" as the Madison Garrison Planned Unit Development Zoning District.

SECTION 11. SEVERABILITY

The provisions of the Ordinance are hereby declared to be severable. If any revision of this Ordinance, or the application thereof, to any person or circumstance is held to be invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application.

SECTION 12. EFFECTIVE DATE

This Ordinance shall become effective as provided by law.

This Ordinance was adopted in open regular meeting after its second reading this 2/4/20, after due notice in accordance with Florida Law.

ATTEST:

BOARD OF CITY COMMISSIONERS
OF PORT ST. JOE, FLORIDA



Charlotte M. Pierce, City Clerk



Rex Buzzett, Mayor

Port St. Joe LDR Plan Review

Review Date: _____ Reviewed By: _____

Owner: Arazzo On Madison LLC Contractor: DevLab

Address: TBD Madison & Garrison Parcel ID: 03037-000R

Residential: X Commercial: _____ Industrial: _____

Zoning: R-2 Allowable Use: _____

Project

Description: 84 lots & units Duplexes

Pool, Clubhouse, Pavilion

Type of Development Order: Major Residential

TAC: 9/30/2020 PDBR : 11/3/2020 City Commission: 11/17/2020

96 allowed based on acreage

Density Units allowed: 7/ acre Proposed Units: 84 lots

Flood Zone: _____ Elevation First Finished Floor: _____

13.83 acres

Lot Size: 2000 minimum Covered Area Sq. Ft.: 602348' Impervious: 325,616'

House H/C Minimum Required: 1000 min. Proposed: _____

House Footprint: 2218 per unit Garage: _____ Pavilion: 1500'

Porches: _____ Deck/patio: _____ Shed: Cub House: 2646'

Pool/Decking: 2,400 & 3,066 Driveway: 53,491' Other: Sidewalks: 913'

Covered Area Sq. Ft:

Existing _____ New: _____ Total w/ New: _____

Height Allowed: 60' Height Proposed: 10' to eave 27' to peak

Impervious Surface Allowed: 60% Total Proposed: 54.05%

Setbacks required: Front: 15' Rear: 7' Left: 7' Right: 7'

Setbacks proposed: Front: 15' Rear: 7' Left: 7' Right: 7'

Port St. Joe LDR Plan Review

Notes: 10' buffer required along the abutting area of the Old St. Joseph Cemetery per PUD.

Requirement met per plans provided: 10' wide and 6' in height.

2 garage spaces per unit

Recommendations: _____

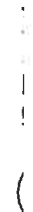
A NEW C

SYMBOL LEGEND

MATERIAL SYMBOLS

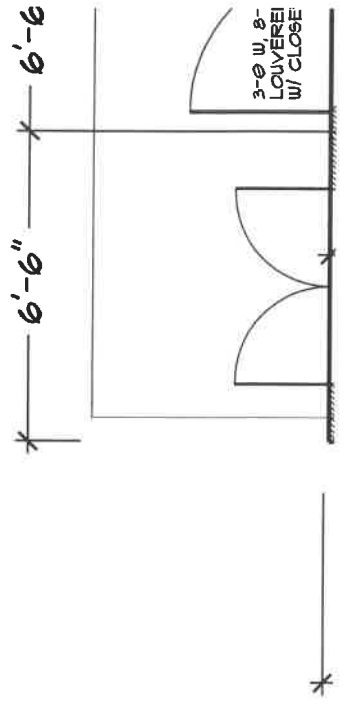
EARTH		PLYWOOD	
GRANULAR FILL		ACOUSTICAL OR CERAMIC TILE	
CONCRETE		GWB/PLASTER/STUCCO/GROUT	
CONCRETE MASONRY UNIT		RIGID INSULATION	
BRICK		FIRE SAFING/COMP FILLER	
FINISHED WOOD		BATT INSULATION	
ROUGH WOOD (CONTINUOUS)		LATH	
ROUGH WOOD (NOT CONTINUOUS)		BIT DAMPROOFING	

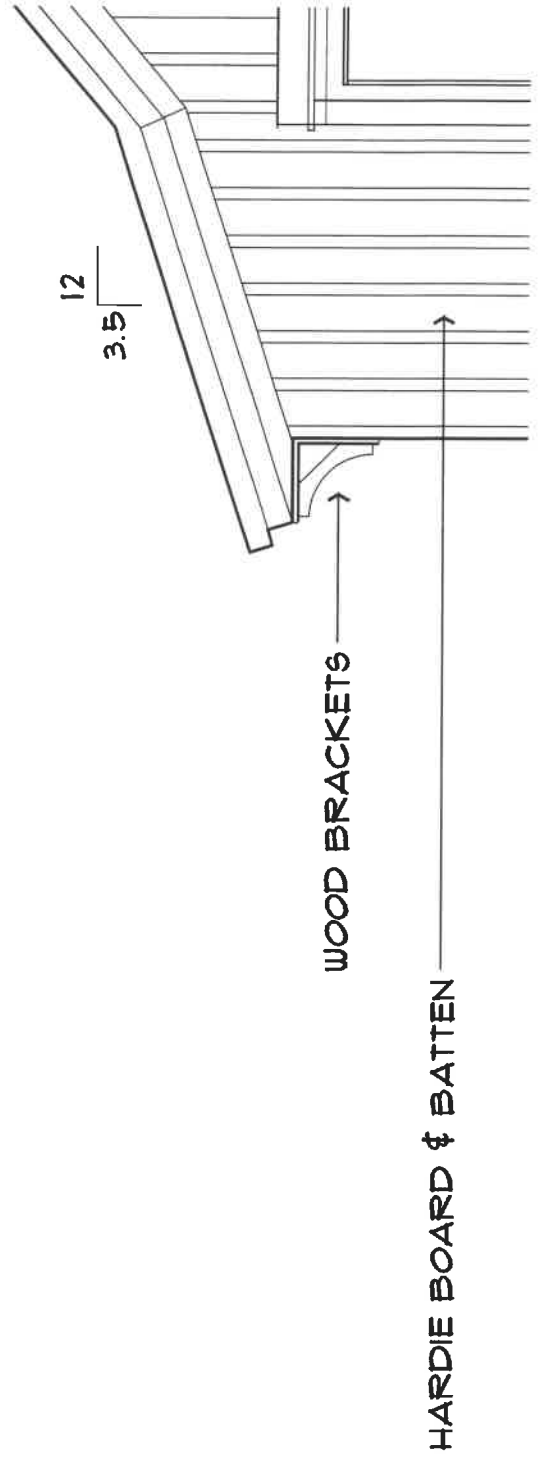
GENERAL SYMBOLS

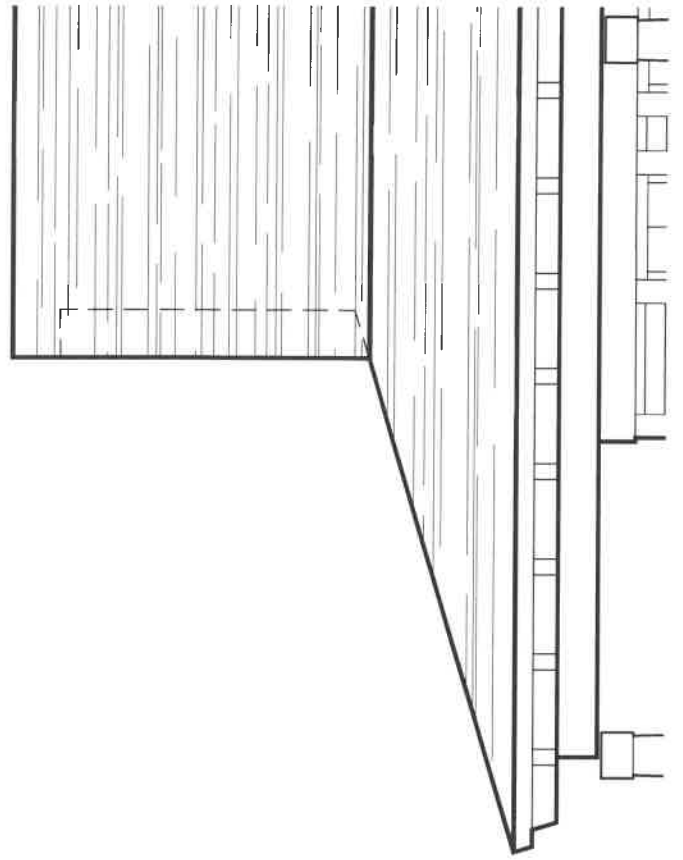


ABBREVIATIONS

AT	ACOUSTICAL TILE	FDN	FOUNDATION	OC	ON CENTER(S)
AD	AREA DRAIN	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER
AE	ARCHITECT-ENGINEER	FEC	FIRE EXTINGUISHER CABINET	OFCI	OWNER FURNISHED CONTRACTOR INSTALL
AFT	ABOVE FINISHED FLOOR	FHC	FIRE HOSE CABINET	OFI	OWNER FURNISHED CONTRACTOR INSTALLED
AHU	AIR HANDLING UNIT	FIN	FINISH(ED)	OFRI	OWNER FURNISHED CONTRACTOR ROUGH I
APPROX	APPROXIMATE	FL	FLOOR	OH	OVERHEAD
ARCH	ARCHITECT(URAL)	FO	FACE OF	OPH	OPPOSITE HAND
BD	BOARD	FT	FOOT/FEET	OPP	OPPOSITE
BIT	BITUMINOUS	FTG	FOOTING	PL	PLATE
BLDG	BUILDING	GA	GAGE/GAUGE	PLAM	PLASTIC LAMINATE
BLK	BLOCK	GALV	GALVANIZED	PR	PAIR
BLKG	BLOCKING	GL	GLASS/GLAZING	PT	PRESSURE TREATED
BM	BEAM	GMB	GYP SUM WALL BOARD	QT	QUARRY TILE
BOT	BOTTOM	GYP	GYP SUM	R	RISER/RADIUS
BRG	BEARING	HA	HANDICAP ACCESSIBLE	RD	ROOF DRAIN
BRK	BRICK	HOW	HARDWARE	REC	RECESSED
BUR	BUILT UP ROOFING	HM	HOLLOW METAL	REINF	REINFORCE(ING)
CEM PL	CEMENT PLASTER	HR	HOUR	REQ	REQUIRED
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	HT	HEIGHT/HIGH	REV	REVISION(S)
CHEM	CHEMICAL	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	RM	ROOM
CJ	CONTROL JOINT/CONSTRUCTION JOINT	ID	INSIDE DIAMETER	RO	ROUGH OPENING
CL	CENTER LINE	IN	INCH	S	SOUTH
CLG	CEILING	INSL	INSULATE(ION)		
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR		
COL	COLUMN				

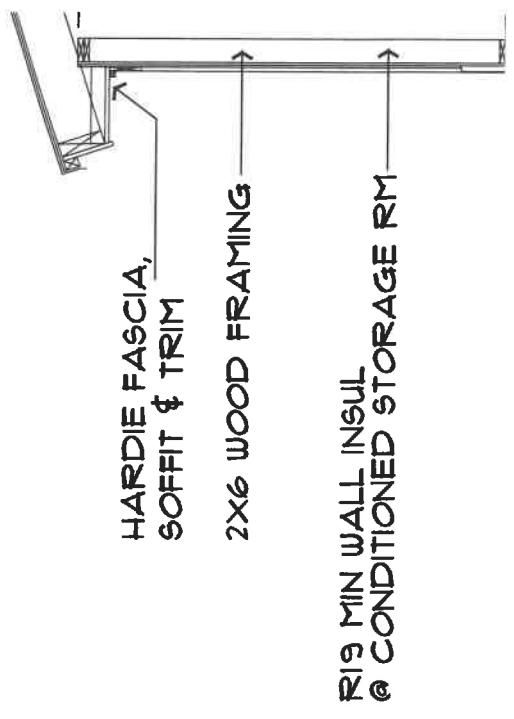


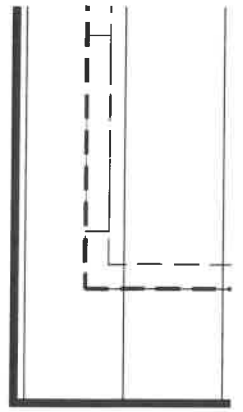




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SEE STRUCTURAL D

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SYMBOL LEGEND

MATERIAL SYMBOLS

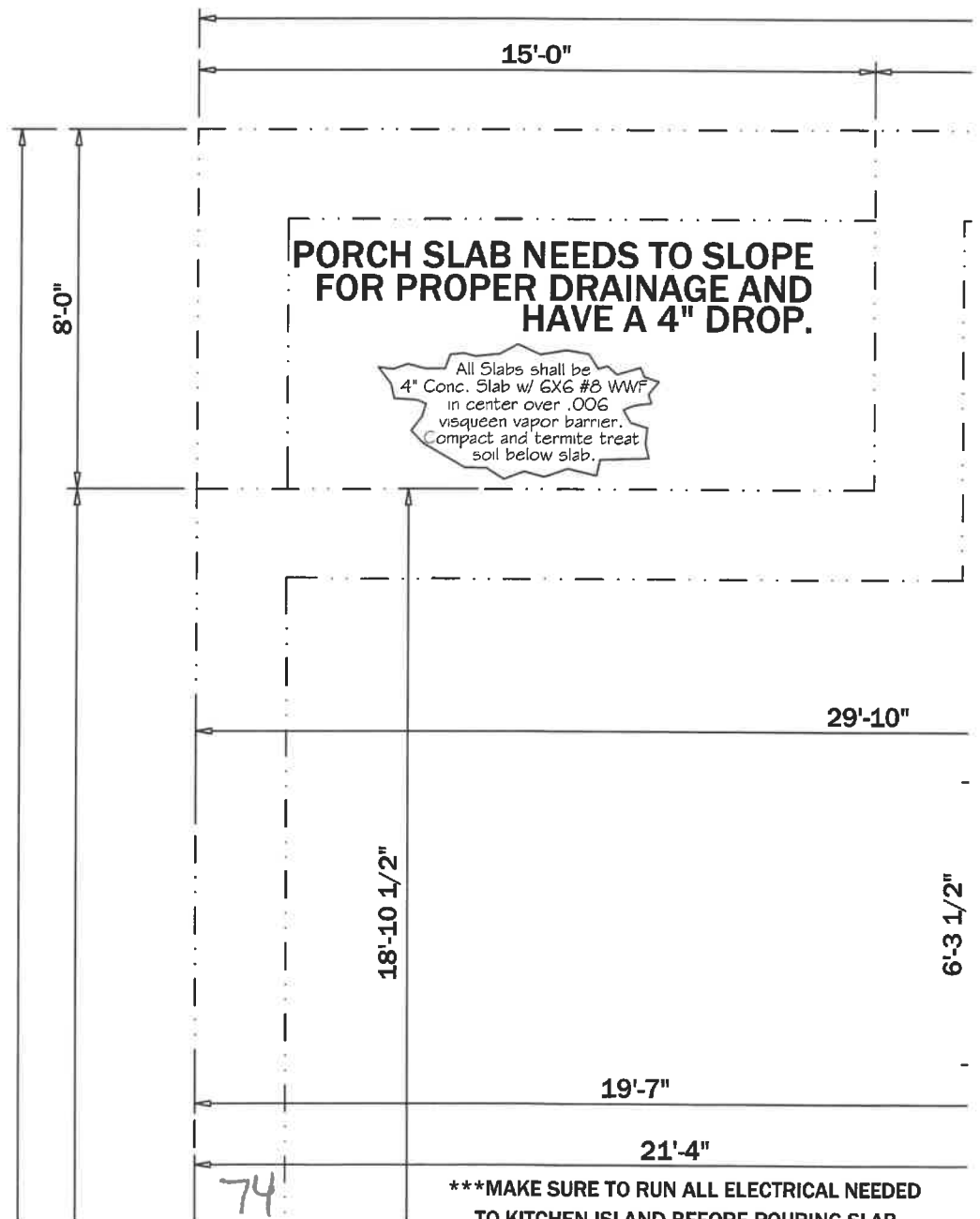
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FINISHED WOOD		BATT INSULATION	
ROUGH WOOD (CONTINUOUS)		LATH	
ROUGH WOOD (NOT CONTINUOUS)		BIT DAMPROOFING	

GENERAL SYMBOLS

— — — — —

ABBREVIATIONS

●	AT	ACUSTICAL TILE	FDN	FOUNDATION	OC	ON CENTER(S)
ACT	AD	AREA DRAIN	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER
AE	AFF	ARCHITECT-ENGINEER	FEC	FIRE EXTINGUISHER CABINET	OFCl	OWNER FURNISHED
AHU	ABOVE	ABOVE FINISHED FLOOR	FHC	FIRE HOSE CABINET	OFCl	OWNER FURNISHED
ARCH	AIR HANDLING UNIT	AIR HANDLING UNIT	FIN	FINISH(ED)	OFRI	OWNER INSTALLED
	APPROXIMATE	APPROXIMATE	FIXT	FIXTURE	OFRI	OWNER FURNISHED
	ARCHITECT(URAL)	ARCHITECT(URAL)	FL	FLOOR	OH	OVERHEAD
BD	BOARD	BOARD	FO	FACE OF	OPH	OPPOSITE HAND
BIT	BUTIMINOUS	BUTIMINOUS	FTG	FOOT/FEET	OPP	OPPOSITE
BLDG	BUILDING	BUILDING		FOOTING		
BLK	BLOCK	BLOCK	GA	GAGE/GAUGE	PL	PLATE
BLKG	BLOCKING	BLOCKING	GALV	GALVANIZED	PLAM	PLASTIC LAMINATE
BM	BEAM	BEAM	GL	GLASS/GLAZING	PR	PAIR
BOT	BOTTOM	BOTTOM	GWB	GYP-SUM WALL BOARD	PT	PRESSURE TREATED
BRG	BEARING	BEARING	GYP	GYP-SUM	QT	QUARRY TILE
BRK	BRICK	BRICK				
BUR	BUILT UP ROOFING	BUILT UP ROOFING	HA	HANDICAP ACCESSIBLE		
CEM	CEMENT PLASTER	CEMENT PLASTER	HDW	HARDWARE	R	RISER/RADIUS
CFCI	CONTRACTOR FURNISHED	CONTRACTOR FURNISHED	HM	HOLLOW METAL	RD	ROOF DRAIN
CHEM	CONTRACTOR INSTALLED	CONTRACTOR INSTALLED	HR	HOUR	REC	RECESSED
CJ	CHEMICAL CONTROL JOINT/	CHEMICAL CONTROL JOINT/	HT	HEIGHT/HIGH	REINF	REINFORCE(D)(NG)
CL	CONSTRUCTION JOINT	CONSTRUCTION JOINT	HVAC	HEATING, VENTILATING AND AIR CONDITIONING	REQ	REQUIRED
CLG	CENTER LINE	CENTER LINE			RES	RESILIENT
CMU	CONCRETE MASONRY UNIT	CONCRETE MASONRY UNIT	ID	INSIDE DIAMETER	REV	REVISE(S)(ON)(D)
COL	COLUMN	COLUMN	IN	INCH	RM	ROOM
			INSUL	INSULATE(D)(ON)	RO	ROUGH OPENING
			INT	INTERIOR	S	SOUTH



**PORCH SLAB NEEDS TO SLOPE
FOR PROPER DRAINAGE AND
HAVE A 4" DROP.**

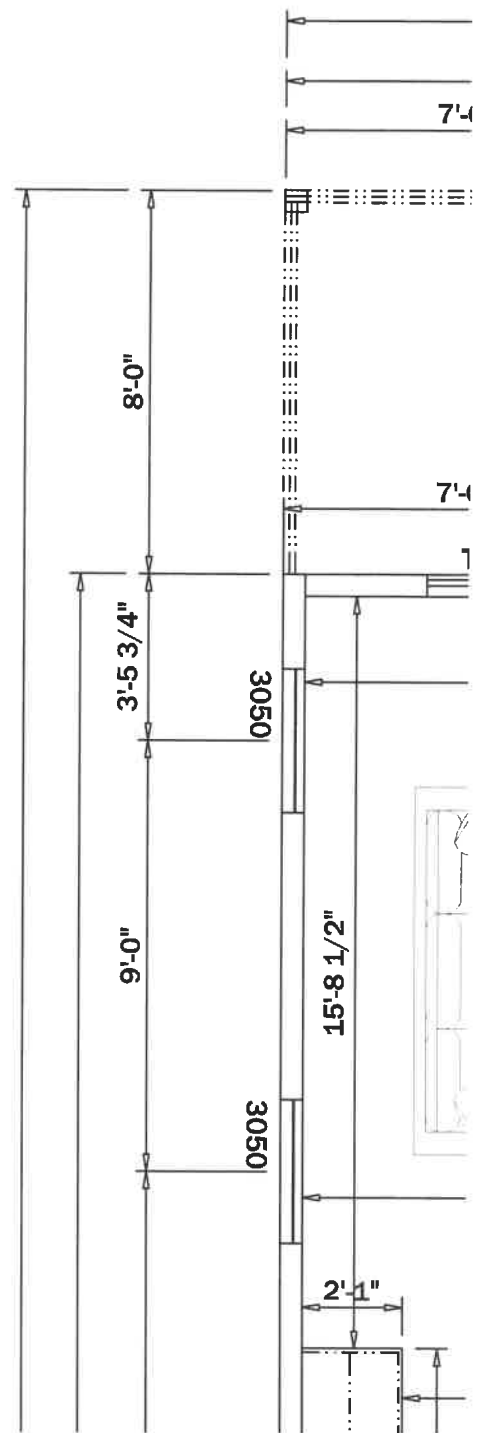
All Slabs shall be
4" Conc. Slab w/ 6X6 #8 WWP
in center over .006
visqueen vapor barrier.
Compact and termite treat
soil below slab.

74

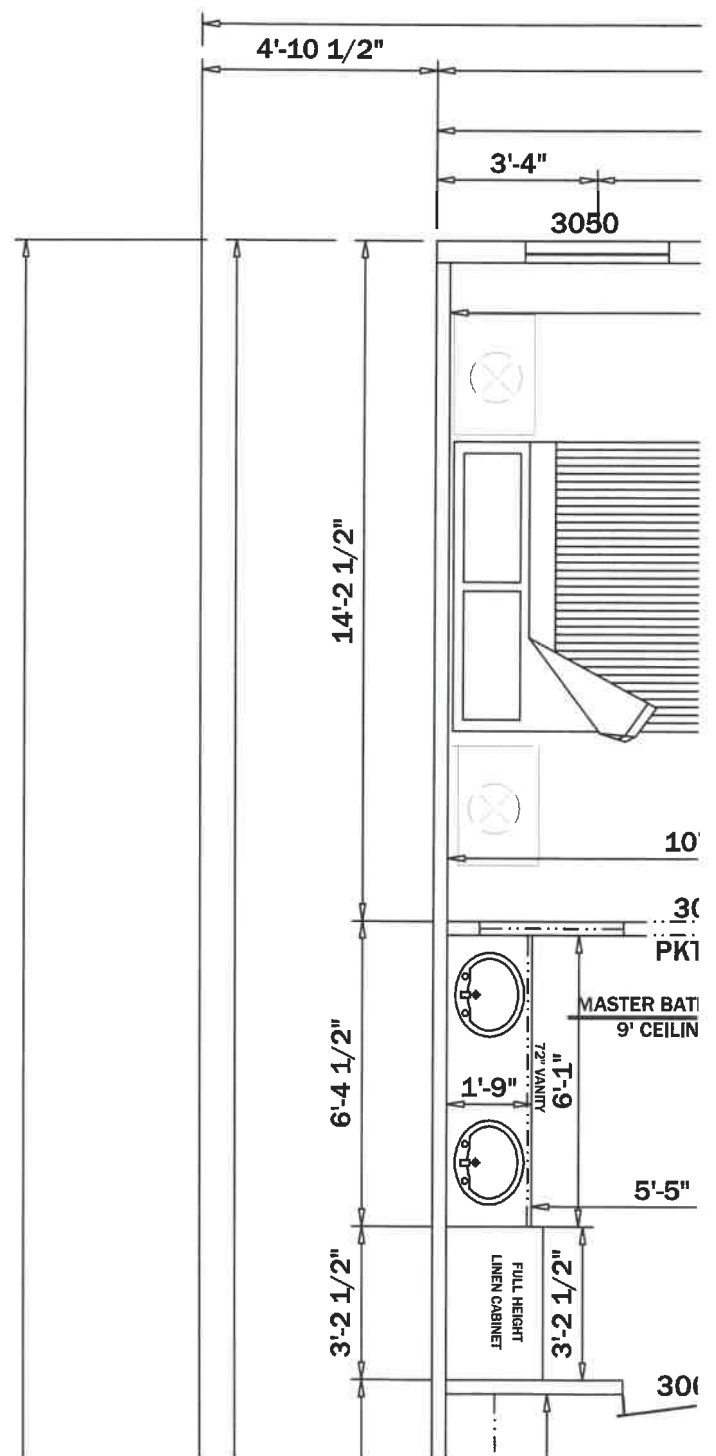
****MAKE SURE TO RUN ALL ELECTRICAL NEEDED
TO KITCHEN ISL AND BEFORE POURING SLAB

CONTRACTOR/BUILDER SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO RESIDENTIAL DRAFTING AND DESIGN, LLC FOR JUSTIFICATION AND/OR CORRECTIONS BEFORE PROCEEDING WITH WORK. CONTRACTOR/BUILDER SHALL ASSUME RESPONSIBILITY FOR ALL ERRORS NOT RECORDED. 1-229-894-2462.

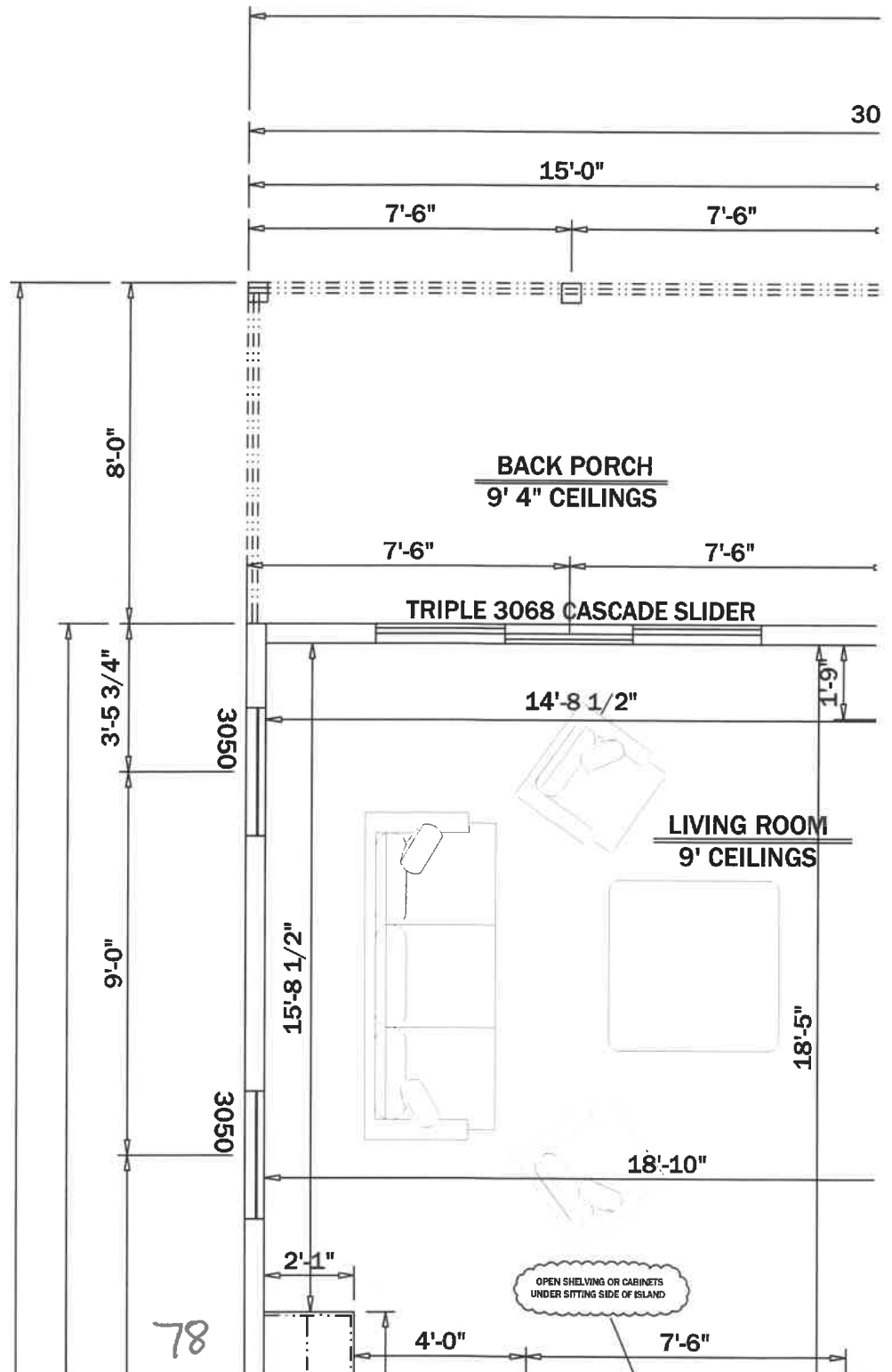
SEE FIREWALL DETAIL ON SHEET A-9.

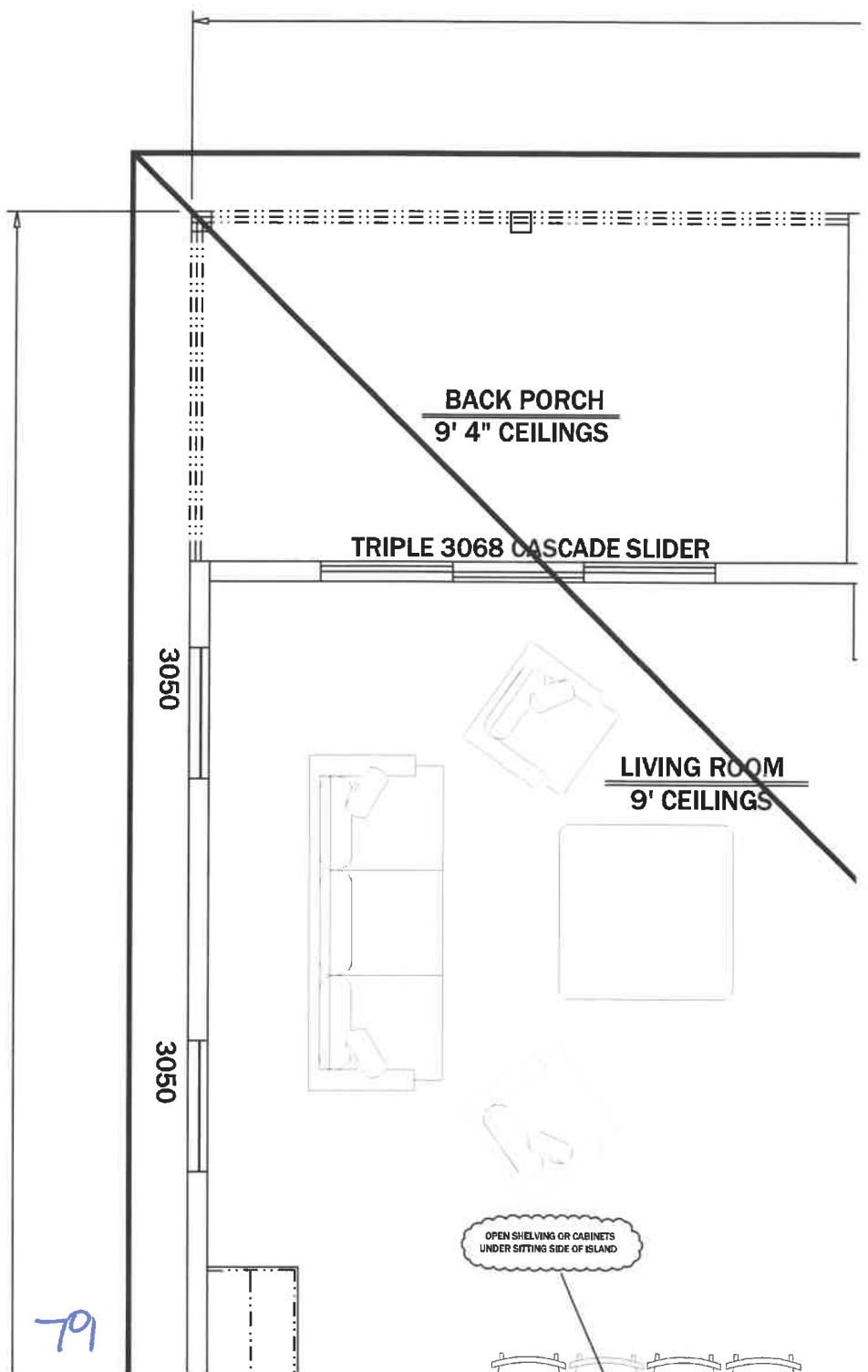


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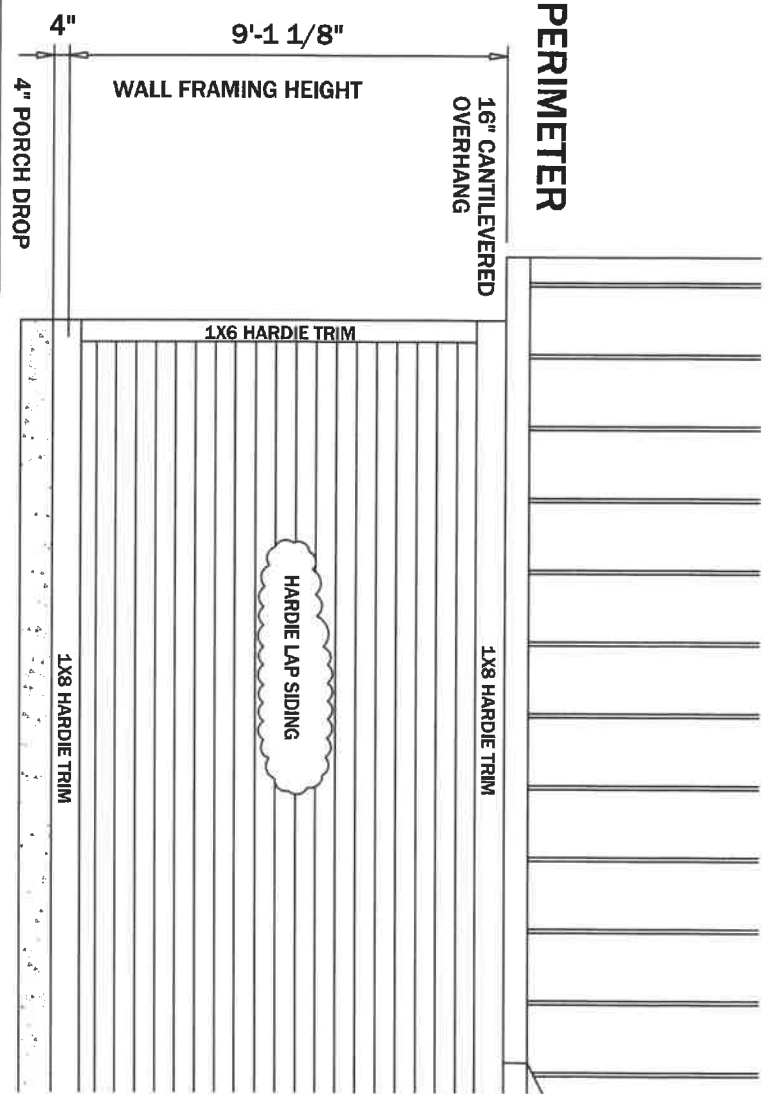
DUP

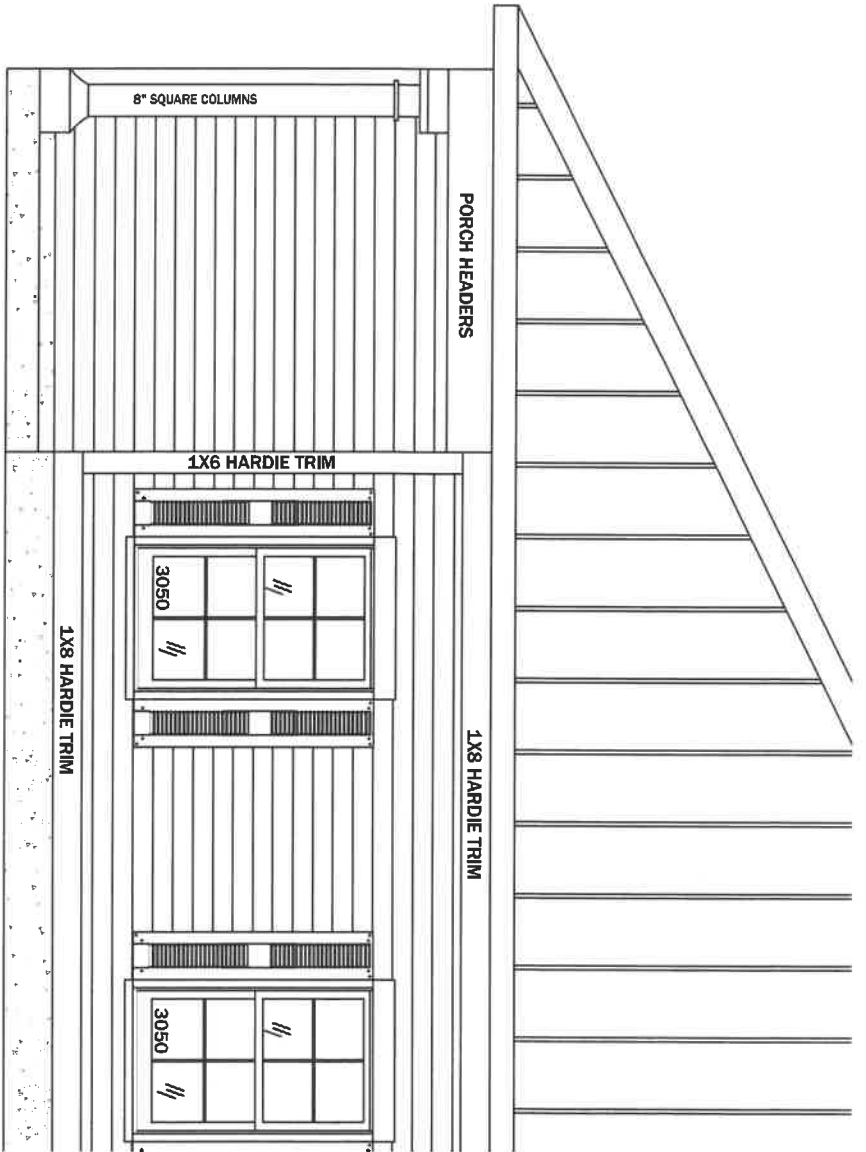


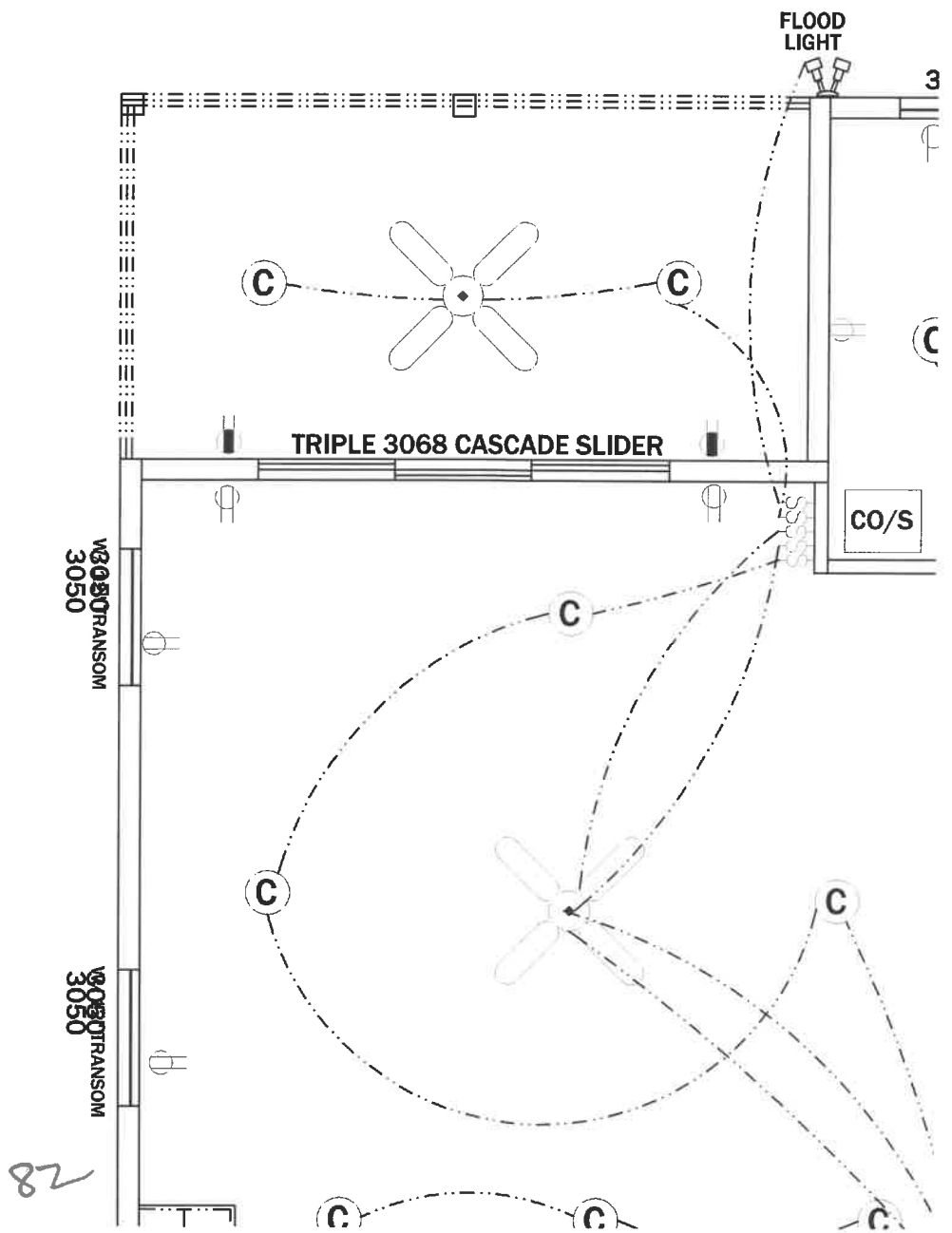


GUTTERS AROUND ENTIRE PERIMETER

* EXACT FOUNDATION HEIGHT
WILL BE DETERMINED ON SITE.







ROOF DECKING



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

October 27, 2020

BY ELECTRONIC MAIL
(stephen@propdevlab.com)

In the Matter of an
Application for Permit by:

PERMITTEE:

Arazzo on Madison, LLC
By: Mr. Stephen Wolfe
President
1776 Peachtree St. NW
Ste. 410N
Atlanta, Georgia 30309

PERMIT NUMBER:	0393666-001-DWC/CM
COUNTY:	Gulf
PROJECT NAME:	Arazzo on Madison Sewer
CONNECTED TO:	City of Port St. Joe WWTF
FACILITY ID:	FLA020206

NOTICE OF PERMIT ISSUANCE

Enclosed is Permit Number 0393666-001-DWC/CM to construct a domestic wastewater collection/transmission system, issued pursuant to 403.087(1), Florida Statutes.

The Department's proposed agency action shall become final unless a timely petition for an administrative hearing is filed under Sections 120.569 and 120.57, Florida Statutes, within fourteen days of receipt of notice. The procedures for petitioning for a hearing are set forth below.

A person whose substantial interests are affected by the Department's proposed permitting decision may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, Florida Statutes. The petition must contain the information set forth below and must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000.

Under Rule 62-110.106(4), Florida Administrative Code, a person may request an extension of the time for filing a petition for an administrative hearing. The request must be filed (received by the Clerk) in the Office of General Counsel before the end of the time period for filing a petition for an administrative hearing.

Petitions by the applicant or any of the persons listed below must be filed within fourteen days of receipt of this written notice. Petitions filed by any persons other than those entitled to written notice under Section 120.60(3), Florida Statutes, must be filed within fourteen days of publication of the notice or within fourteen days of receipt of the written notice, whichever occurs first. Section 120.60(3), Florida Statutes, however, also allows that any

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person who has asked the Department in writing for notice of agency action may file a petition within fourteen days of receipt of such notice, regardless of the date of publication.

The petitioner shall mail a copy of the petition to the applicant at the address indicated above at the time of filing. The failure of any person to file a petition or request for extension of time within fourteen days of receipt of notice shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, Florida Statutes. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, Florida Administrative Code.

A petition that disputes the material facts on which the Department's action is based must contain the following information, as indicated in Rule 28-106.201, Florida Administrative Code:

- (a) The name and address of each agency affected, each agency's file or identification number, if known, and the county in which the project is located;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any; which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the determination;
- (c) A statement of when and how the petitioner received notice of the Department's decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the Department's proposed action;
- (f) A statement of the specific rules or statutes the petitioner contends require reversal or modification of the Department's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action petitioner wishes the Department to take with respect to the Department's proposed action.

Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means that the Department's final action may be different from the position taken by it in this notice. Persons whose substantial interests will be affected by any such final decision of the Department have the right to petition to become a party to the proceeding, in accordance with the requirements set forth above.

Mediation under Section 120.573, Florida Statutes, is not available for this proceeding.

This permit action is final on the date filed with the Clerk of the Department unless a petition (or request for extension of time) is filed in accordance with the above. Upon the timely filing of a petition (or request for an extension of time), this permit will not be effective until further order of the Department.

PROJECT NAME: Arazzo on Madison Sewer
PERMIT NUMBER: 0393666-001-DWC/CM
Notice of Permit Issuance
Page 3 of 3

Any party to the permit has the right to seek judicial review of the permit action under Section 120.68, Florida Statutes, by the filing of a notice of appeal under Rules 9.110 and 9.190, Florida Rules of Appellate Procedure, with the Clerk of the Department in the Office of General Counsel, 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida, 32399-3000, and by filing a copy of the notice of appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice of appeal must be filed within 30 days from the date when this permit action is filed with the Clerk of the Department.

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION



Kimberly R. Allen
Permitting Program Administrator

FILING AND ACKNOWLEDGMENT

FILED, on this date, under Section 120.52, Florida Statutes, with the designated deputy clerk, receipt of which is hereby acknowledged.

CERTIFICATE OF SERVICE

The undersigned hereby certifies that this NOTICE OF PERMIT ISSUANCE and all copies were e-mailed before the close of business.

	October 27, 2020
Clerk	Date

Enclosure: Permit Number 0393666-001-DWC/CM

c:

L. Jack Husband, P.E., Southeastern Consulting Engineers, Inc.

(jack.husband@southeasternce.com)

Kevin Pettis, Wastewater Plant Manager, City of Port St. Joe (kpettis@psj.fl.gov)

Jim Anderson, City Manager, City of Port St. Joe (janderson@psj.fl.gov)

John Grantland, Public Works Director, City of Port St. Joe (jgrantland@psj.fl.gov)



FLORIDA DEPARTMENT OF Environmental Protection

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

STATE OF FLORIDA DOMESTIC WASTEWATER COLLECTION/TRANSMISSION INDIVIDUAL PERMIT

PERMITTEE:	PERMIT NUMBER:	0393666-001-DWC/CM
Arazzo on Madison, LLC	ISSUANCE DATE:	October 27, 2020
By: Stephen Wolfe	EXPIRATION DATE:	October 26, 2025
President	COUNTY:	Gulf
1776 Peachtree St. NW	PROJECT NAME:	Arazzo on Madison Sewer
Ste. 410N	CONNECTED TO:	City of Port St. Joe WWTF
Atlanta, Georgi 30309	FACILITY ID:	FLA020206

This permit is issued under the provisions of Chapter 403, Florida Statutes (F.S.), and Chapters 62-4 and 62-604, Florida Administrative Code (F.A.C.).

The above-named permittee is hereby authorized to construct the facilities shown on the application and drawings and other documents on file with the Department and made a part hereof and specifically described as follows:

DESCRIPTION OF PROJECT:

This project involves constructing a domestic wastewater collection/ transmission sewer system for a new residential development consisting of 84 residential (42 duplex units) and 5 homeowner association owned lots reserved for a neighborhood amenity area, a stormwater management facility, and open green spaces. The construction will include a new gravity sewer system that includes approximately 1,733 LF of 8-inch HDPE pipe, 11 manholes, and one duplex lift station to service a majority of the units. The remaining units will be equipped with on-lot submersible grinder pumps and approximately 571 LF of 2-inch force main that flows to one of the proposed manholes that are part of the gravity system.

Approximately 1,406 LF of 4-inch HDPE force main will be constructed to connect the proposed lift station to an existing City of St. Joe sanitary manhole located along Garrison Avenue. The wastewater from the new sewer system will discharge into the existing collection/transmission system, which eventually flows to the City of Port St. Joe WWTF, FLA020206, for treatment.

The construction shall be in accordance with the Application and Construction Drawings certified by L. Jack Husband, P.E., for the design of the wastewater collection/transmission system portion of the project.

LOCATION OF PROJECT: The Arazzo on Madison planned unit development is located on the northwest corner at the intersection of Madison Street and Garrison Avenue, Port St. Joe, Gulf County, Florida.

IN ACCORDANCE WITH: The limitations, requirements and other conditions set forth in pages 1 through 2 of this permit.

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PERMIT CONDITIONS:

1. This permit is subject to the general conditions of Rule 62-4.160, F.A.C., as applicable. This rule is available at the Department's Internet site at:
<http://www.dep.state.fl.us/water/rulesprog.htm#ww> [62-4.160]
2. Upon completion of construction of the collection/transmission system project, and before placing the facilities into operation for any purpose other than testing for leaks or testing equipment operation, the permittee shall submit to the Department's Northwest District Office Form 62-604.300(8)(b), *Request for Approval to Place a Domestic Wastewater Collection/Transmission System into Operation*. This form is available at the Department's Internet site at:
<https://floridadep.gov/water/domestic-wastewater/content/domestic-wastewater-forms>
[62-604.700(2)]
3. The new or modified collection/transmission facilities shall not be placed into service until the Department clears the project for use. [62-604.700(3)]
4. Permit revisions shall only be made in accordance with Rule 62-4.050(4)(s), F.A.C. Request for revisions shall be made to the Department in writing and shall include the appropriate fee. Revisions not covered under Rule 62-4.050(4)(s), F.A.C., shall require a new permit. [62-604.600(8)]
5. Abnormal events shall be reported to the Department's Northwest District Office in accordance with Rule 62-604.550, F.A.C. For unauthorized spills of wastewater in excess of 1000 gallons per incident, or where information indicates that public health or the environment may be endangered, oral reports shall be provided to the STATE WATCH OFFICE TOLL FREE NUMBER, (800) 320-0519, as soon as practical, but no later than 24 hours from the time the permittee or other designee becomes aware of the circumstances. Unauthorized releases or spills less than 1000 gallons per incident are to be reported orally to the Department's Northwest District Office within 24 hours from the time the permittee, or other designee becomes aware of the circumstances. [62-604.550]
6. The City of Port St. Joe will be the Central Management Entity responsible for operation and maintenance of the on-lot facilities associated with the alternative collection/ transmission system authorized by this permit. [62-604.400(4), 2-16-12]

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT
OF ENVIRONMENTAL PROTECTION



Kimberly R. Allen
Permitting Program Administrator

**CITY OF PORT ST. JOE PLANNING DEPARTMENT
DEVELOPMENT ORDER APPLICATION PACKET**

INCOMPLETE SUBMITTALS WILL NOT BE REVIEWED

(The Building Department requires separate forms and fees to obtain building permits.)

NOTE: THE ADDRESS OF THE PROPERTY MUST BE POSTED PRIOR TO SUBMITTAL.

1. X Two complete sets of plans, drawn to scale.
Including: A site plan with square feet of living, total square feet, impervious surface, and setbacks.

**** Setbacks are measured from the closest overhang to property line****

A site plan showing any protected trees which will be removed from the property.
(Protected trees are any trees other than pine larger than 8" in diameter measure 54" from the base of the tree.)

2. X Development Order Packet
3. N/A New Address application
4. Complete City water meter impact form
5. Complete Driveway permit application

(Please refer to City of Port St. Joe's Land Development Regulations)

DESCRIPTION

Project Address 2254 Hwy 98, 164 Red Fish Street, 2234 Amberjack Ave

Lot Square Footage: 60,069.24sq ft Dwelling Square Footage:

Driveway Square Footage: 13,733 sq ft Accessory Building Square Footage: N/A

Pool Square Footage: 1,500 sq ft Patio/Deck Square Footage: N/A

Setbacks: Front: 30' setback Left Side: 10' setback

Rear: 10' setback Right Side: 10' setback

Floor Area Ratio: Lot Coverage: 55,002 sq ft

Building Height in Feet: Max. 47 ft Impervious Surface: 40,868 sq ft (54.11 %)

Landscape Buffers: (height x width) N/A Elevation:

Highland P2 PSJ LLC/Robert W. Pokora - 524 1st Street, PSJ, FL 646-372-8417
Applicant Name Applicant Address Phone Number

Applicant Signature

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Date

Port St. Joe LDR Plan Review

Review Date: 9/18/2020 Reviewed By: K. Simpson

Owner: Highland P2 PSJ LLC Contractor: Monolith Construction

Address: The Overlook Townhomes Parcel ID: _____

Residential: X Commercial: _____ Industrial: _____

Zoning: R-4 Allowable Use: _____

Project

Description: Total of 43 Units Club House/ Gym & Pool 3,300' 3 story

28 Duplex Units 22' x 50' 3 story townhomes 15 single units 20' x 50' 2 story 1,000 sq. ft. per floor
1,100 sq. ft. per floor 3,300 sq. ft. total 2,000 sq. ft each

Type of Development Order: _____

TAC: _____ PDBR: _____ City Commission: _____

Density Units allowed: 30 per acre Proposed Units: 43 units plus 1 club house
1.7 acres= 51 units

Flood Zone: AE 10' Elevation First Finished Floor: 15'

Lot Size: 1.71 acres 75,522' Covered Area Sq. Ft.: 40,868'

House H/C Minimum Required: _____ Proposed: _____ Sidewalk: 1,833

House Footprint: 31,475' Garage: _____ Gravel: 13,734' Asphalt: 11,182'

Porches: _____ Deck/patio: _____ Shed: Pavilion: 200' Pool Restroom: _____

Pool/Decking: 1500' deck 2000 Driveway: 13,733' Other: Sidewalk: 4,403'

Covered Area Sq. Ft:

Existing: 0' New: _____ Total w/ New: 40,868' impervious

Height Allowed: 60' Height Proposed: 47'

Impervious Surface Allowed: 80% Total Proposed: 54%

Setbacks required: Front: _____ Rear: _____ Left: _____ Right: _____

Setbacks proposed: Front: 30' Rear: 10' Left: 10' Right: 10'

PUBLIC NOTICE

RE: The Overlook Townhomes

Parcels:

04430-000R; 04428-000R;

04429-000R; 04431-000R;

04427-000R; 04426-000R

This letter is to inform you that Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, Tuesday, November 3rd, 2020, at 4:00 P.M. EST and at the Regular City Commission Meeting on Tuesday, November 17th, 2020, at 12:00 P.M. EST at the Ward Ridge Building, 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

**Development Order for The Overlook Townhomes
located at 2254 Hwy 98**

The proposed plans can be reviewed at the Building Department located at 1002 Tenth Street and can be reached for questions at (850) 229-1093 from 8 A.M. – 4 P.M. EDT, Monday through Friday.

Thank you,

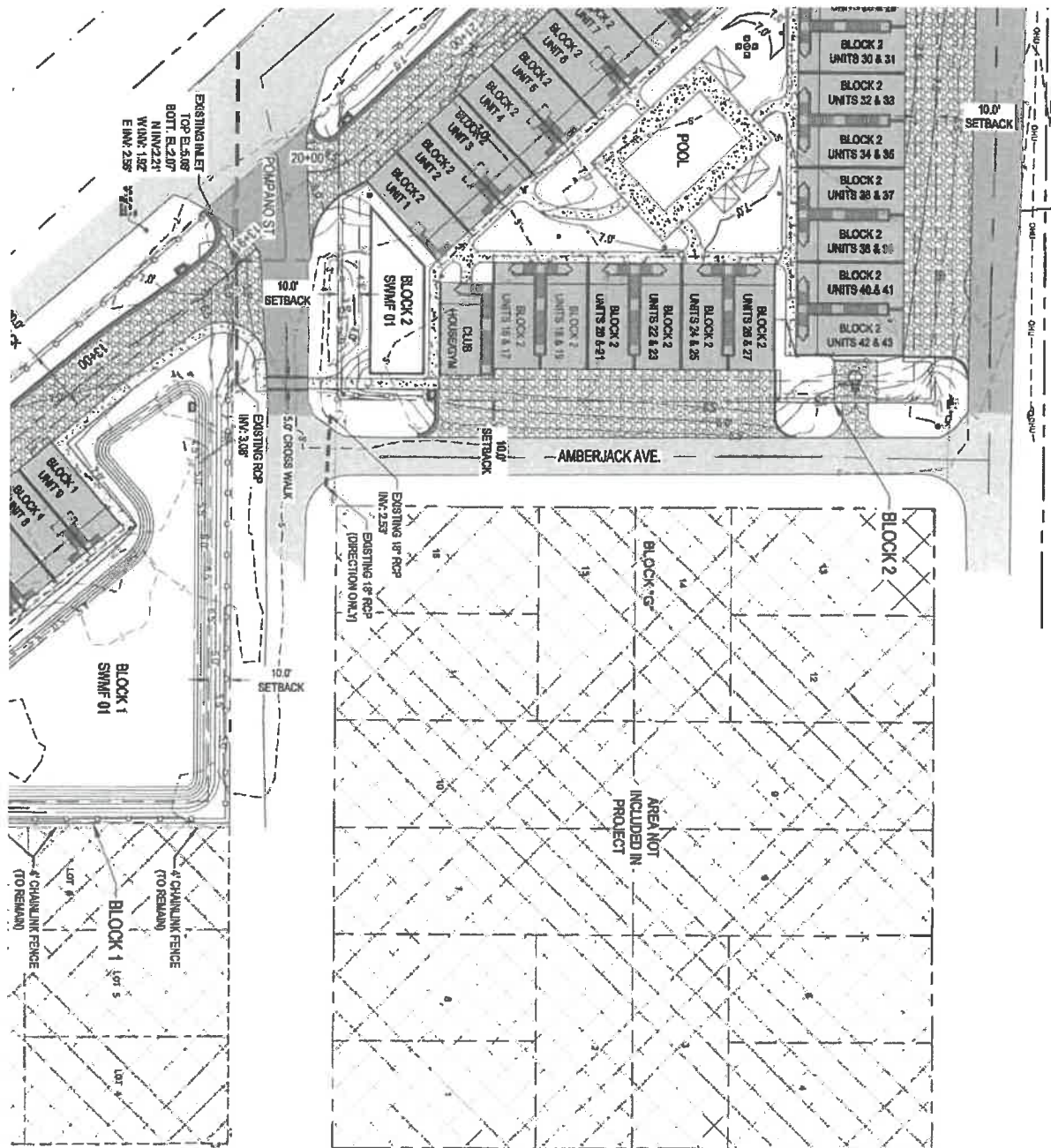
Kelly Simpson

EPCI Code Administration Services

City of Port St. Joe Building Department



3 FLORIDA	PROJECT # <table border="1"> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> <tr><td> </td></tr> </table>											<table border="1"> <tr> <td>DATE</td> <td> </td> </tr> <tr> <td>DESIGN</td> <td> </td> </tr> <tr> <td>CONSTRUCTION</td> <td> </td> </tr> <tr> <td>DATE</td> <td> </td> </tr> </table>	DATE		DESIGN		CONSTRUCTION		DATE			RUSSELL JOHNSON ARCHITECT PL ARCHITECTURE 850 630 4483	AR 00012593 RAJARCH@MSN.COM
DATE																							
DESIGN																							
CONSTRUCTION																							
DATE																							



OVERALL SITE PLAN

THE OVERLOOK TOWNHOMES
MONOLITH CONSTRUCTION
CITY OF PORT ST. JOE, GULF COUNTY, FLORIDA

SEAL FLORIDA
PROFESSIONAL ENGINEER
L. JACK HUBBARD III, P.E.
LICENSE NUMBER 69169

SCE
SOUTHEASTERN
CONSULTING ENGINEERS, INC.
P.O. BOX 141
WEWAHITCHKA, FL 32465
(850) 689-8860
LB# 29064

Owner	Address	City	Property Address
PSJ Equity LLC	4007 Hillsboro Pike	Nashville, TN 37215	153 Red Fish St.
Goodman Florida Rentals LLC	310 Lowery Rd.	Fayetteville, GA 30215	2278 Amberjack Ave.
Carol W Lee	203 Old Norman Park Rd.	Norman Park, GA 31771	2260 Amberjack Ave.
Joshua R Posey	209 Pompano St.	Port St. Joe, FL 32456	209 Pompano St.
Madison & William Kennington	1317 McClelland Ave.	Port St. Joe, FL 32456	04432-000R
Dawn Powell	4380 Midland Rd.	Christiana, TN 37037	280 Pompano St.
Diane King	143 Marlin St.	Port St. Joe, FL 32456	143 Marlin St.

PUBLIC NOTICE

Public Hearings will be held in the Planning, Development, & Review Board's Regular Meeting on, **Tuesday, November 3rd, 2020, at 4:00 P.M. EST** and at the Regular City Commission Meeting on **Tuesday, November 17th, 2020, at 12:00 P.M. EST** at the Ward Ridge Building 2775 Garrison Ave., Port St. Joe, FL 32456 to discuss and act on the following:

**Development Order for The Overlook Townhomes
Located at 2254 Hwy 98**

Parcels: 04430-000R; 04428-000R;
04429-000R; 04431-000R;
04427-000R; 04426-000R

Interested persons may attend and be heard at the public hearing or provide comments in writing to the Planning and Development Review Board, City of Port St. Joe City Hall, 305 Cecil G. Costin, Jr., Blvd., Port St. Joe, Florida 32456. Transactions of the public hearings will not be recorded. Persons wishing to appeal any decision made during the hearings will need a record of the proceeding and should ensure a verbatim record is made, including the testimony on which the appeal is based.

In accordance with the Americans with Disabilities Act, persons wishing to attend needing assistance and special accommodations to participate in these proceedings should contact Charlotte Pierce, City Clerk, at City Hall, (850)229-8261.

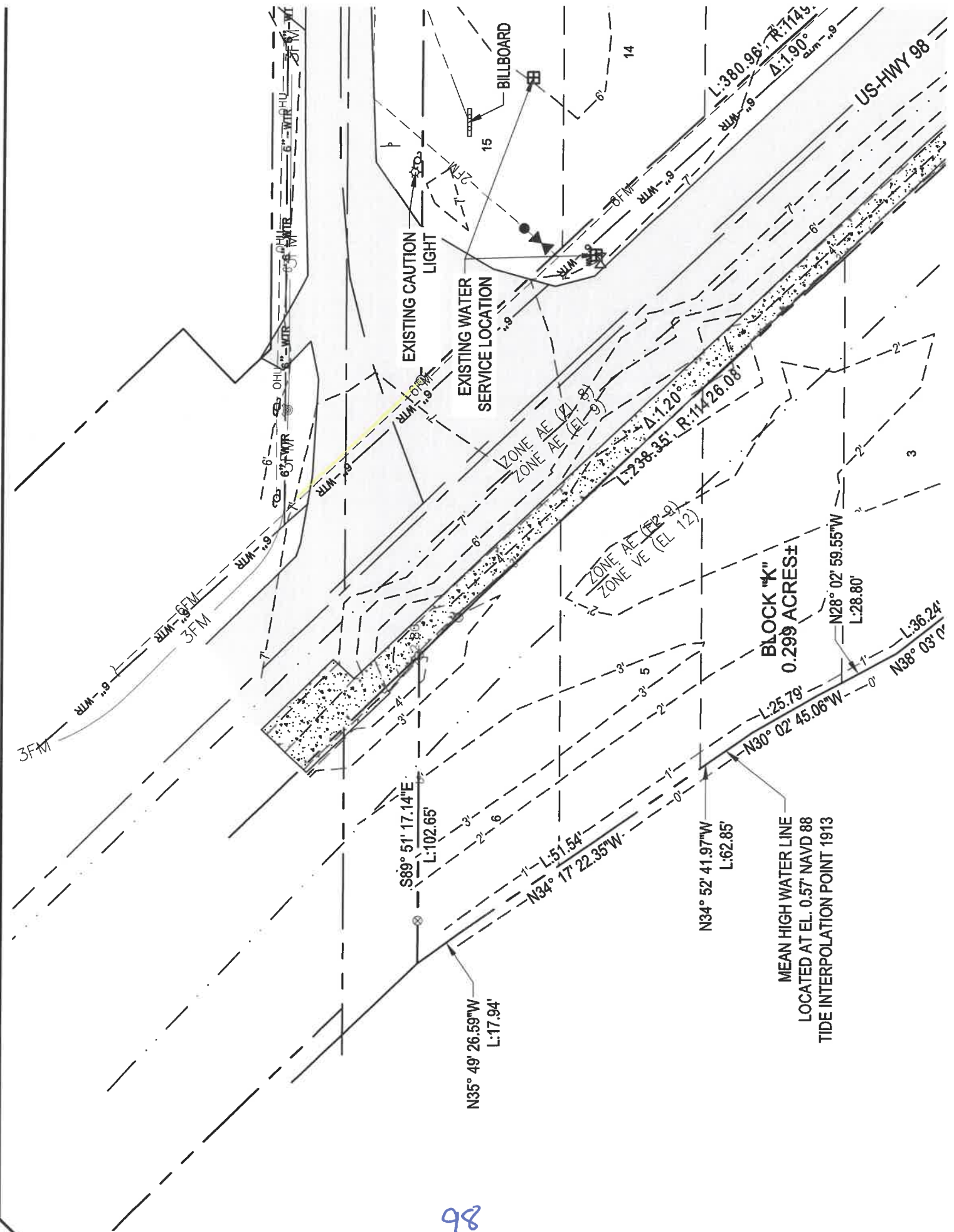
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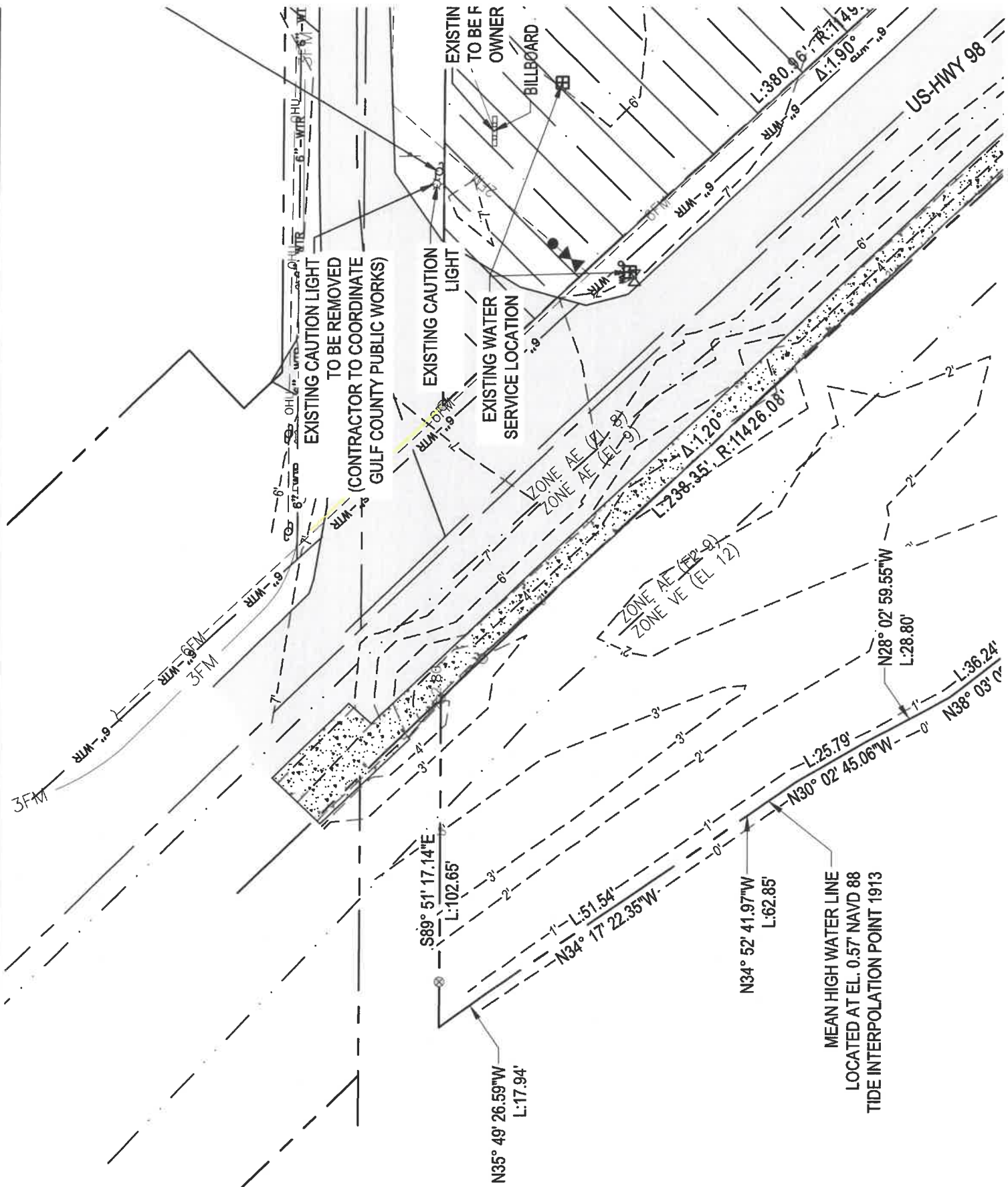
GENERAL NOTES

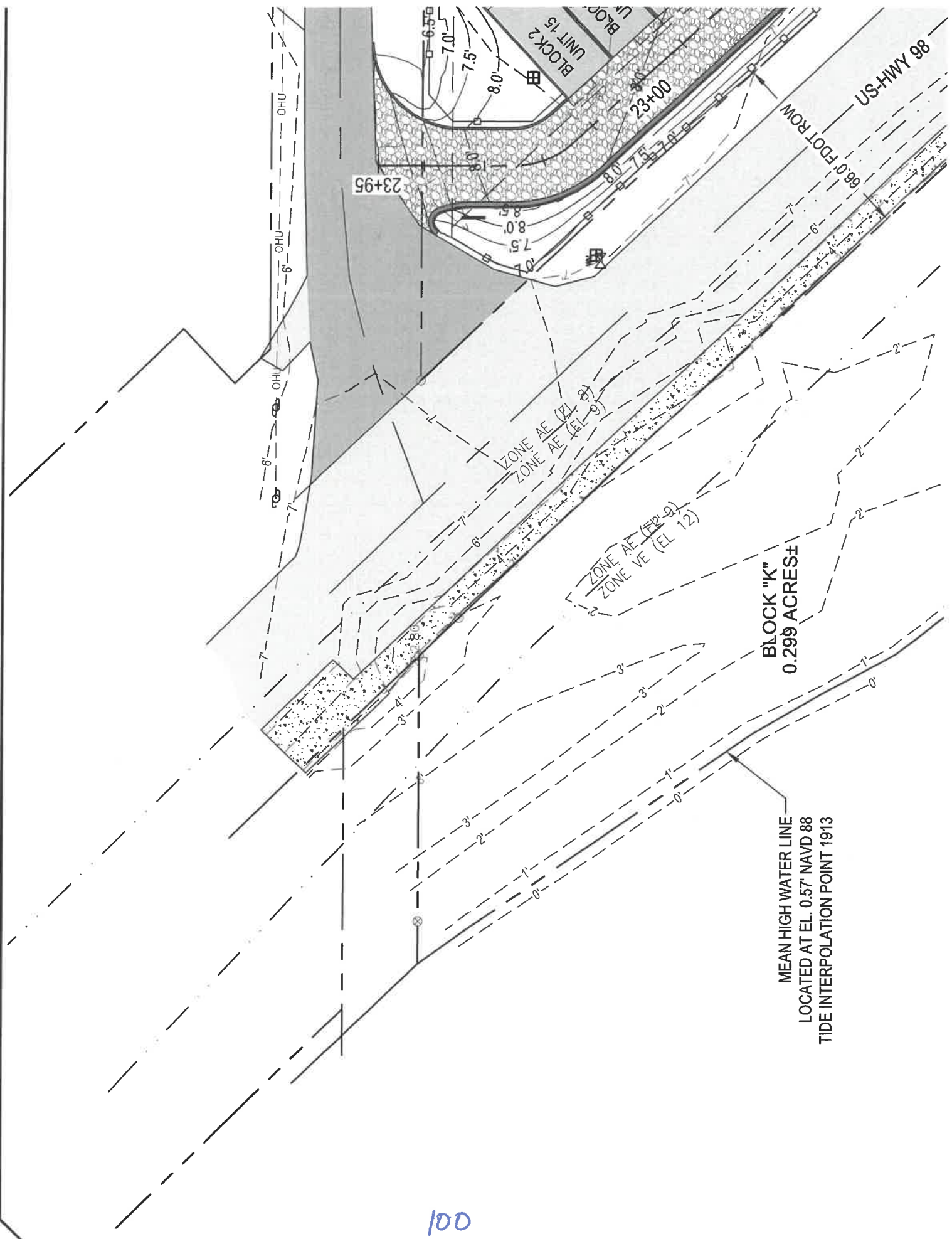
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE LOCAL GOVERNING BODY OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
6. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
7. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
8. ALL UTILITY CONSTRUCTION SHALL MEET THE WATER AND WASTEWATER UTILITY STANDARDS OF THE UTILITY SERVICE PROVIDER IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
10. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S LAND DEVELOPMENT REGULATIONS.
11. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO

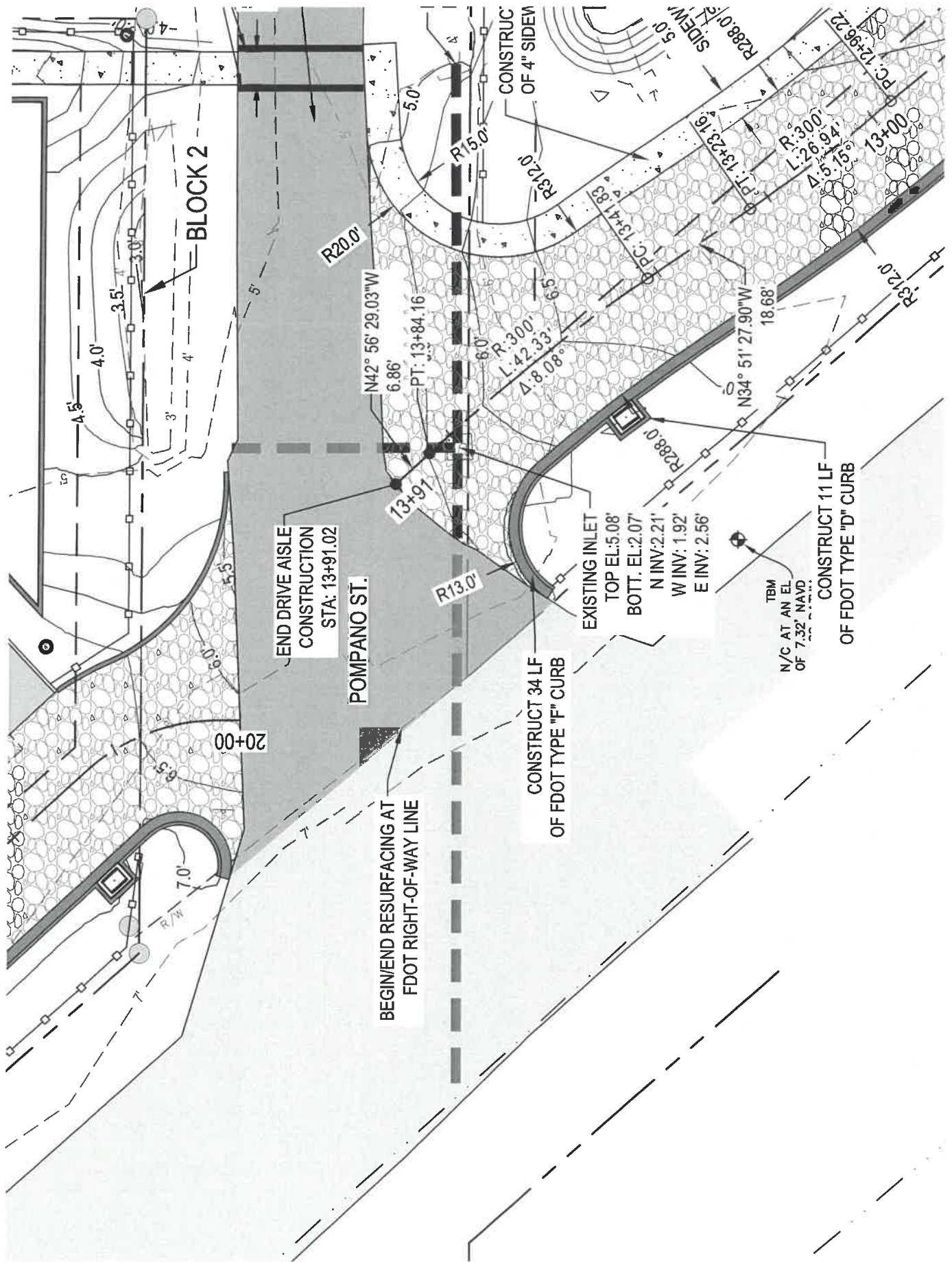
EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION
2. THE CONTRACTOR SHALL ADHERE TO THE LOCAL GO AUTHORITIES FOR EROSION AND SEDIMENT CONTROL THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS F SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORED INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL AND UNTIL A PERMANENT GROUND COVER HAS BEEN
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATE HAY BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY DISTURBED AREA BE LEFT UNPROTECTED FOR MORE
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE THE CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARP.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY



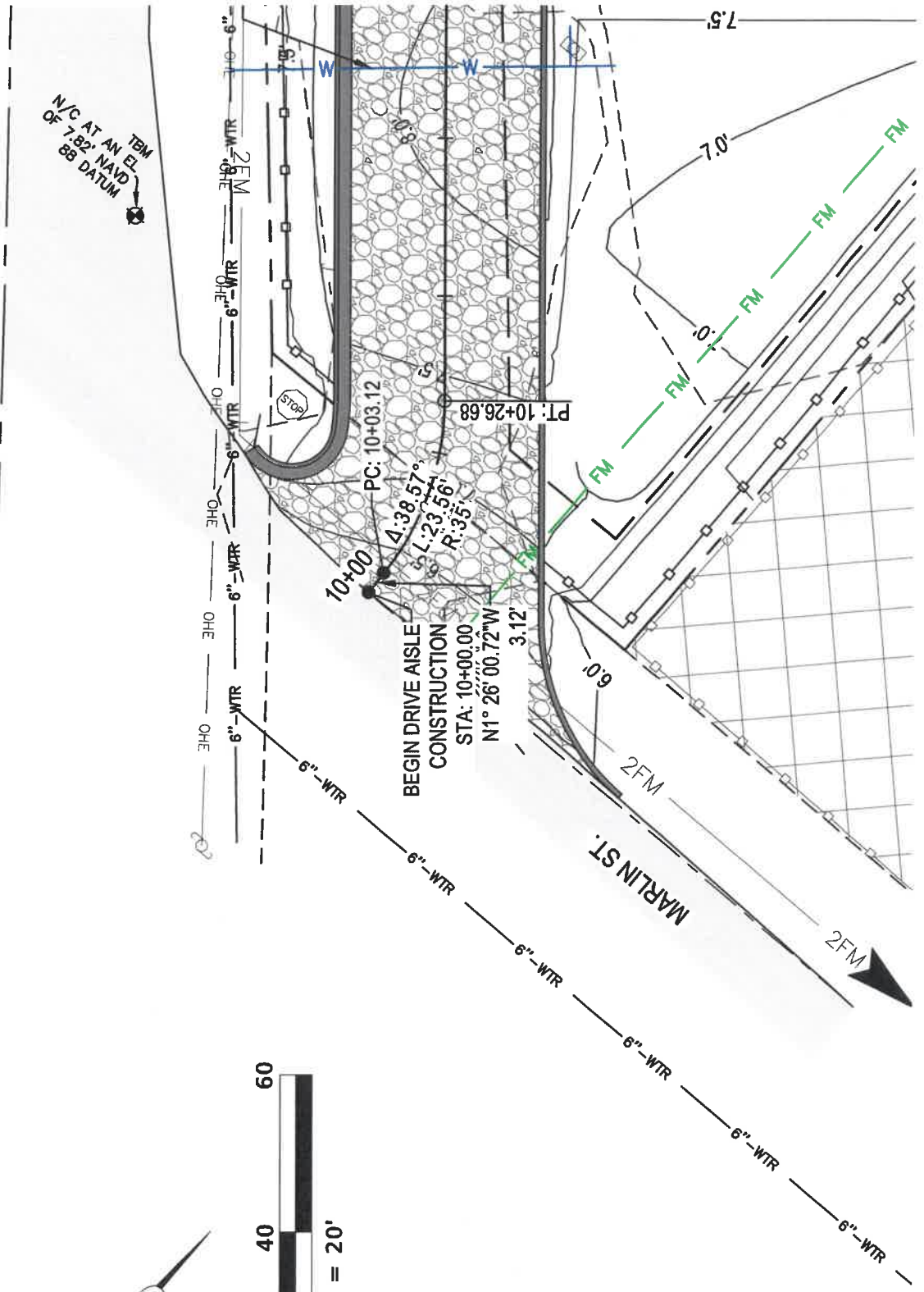




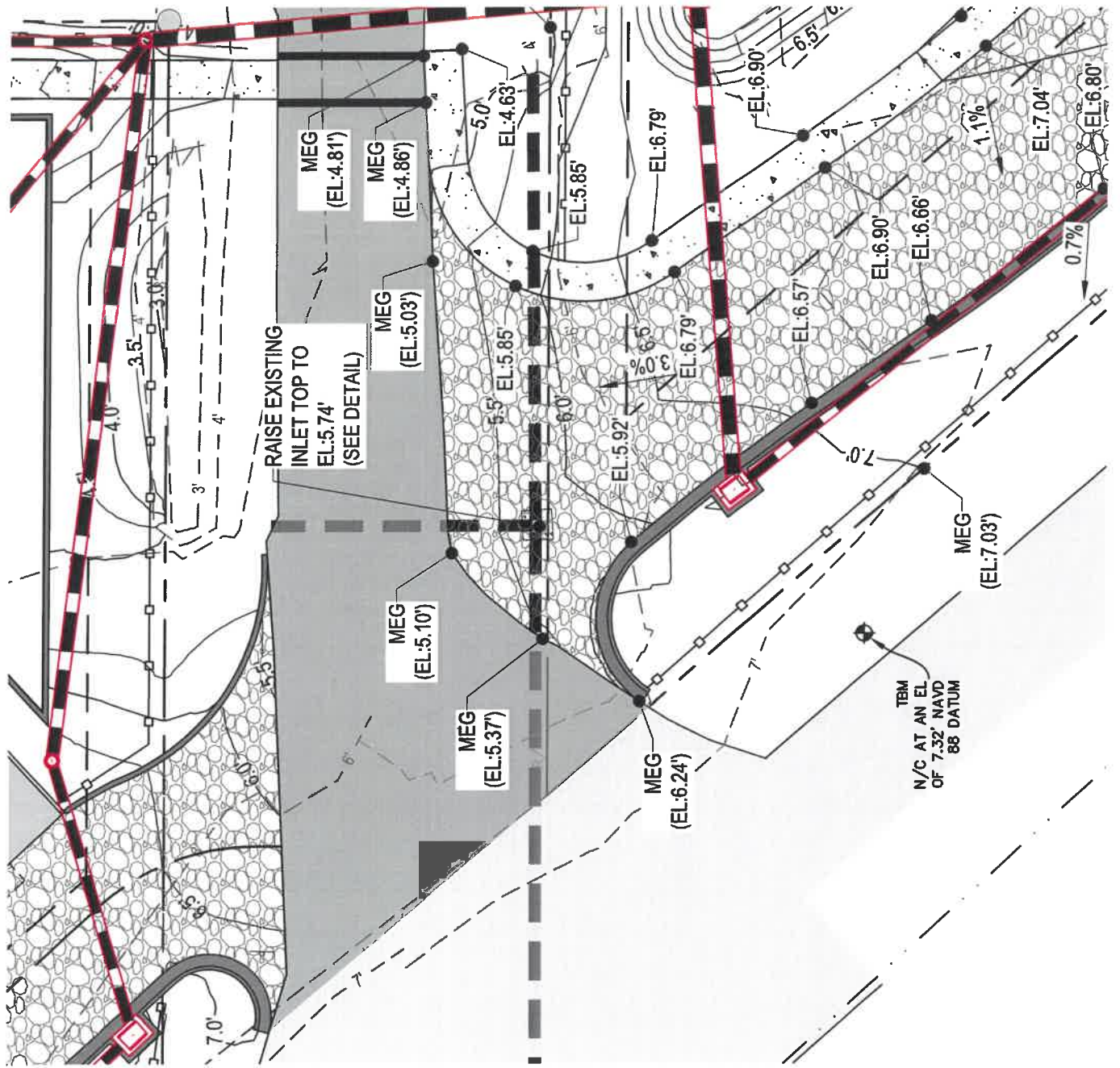


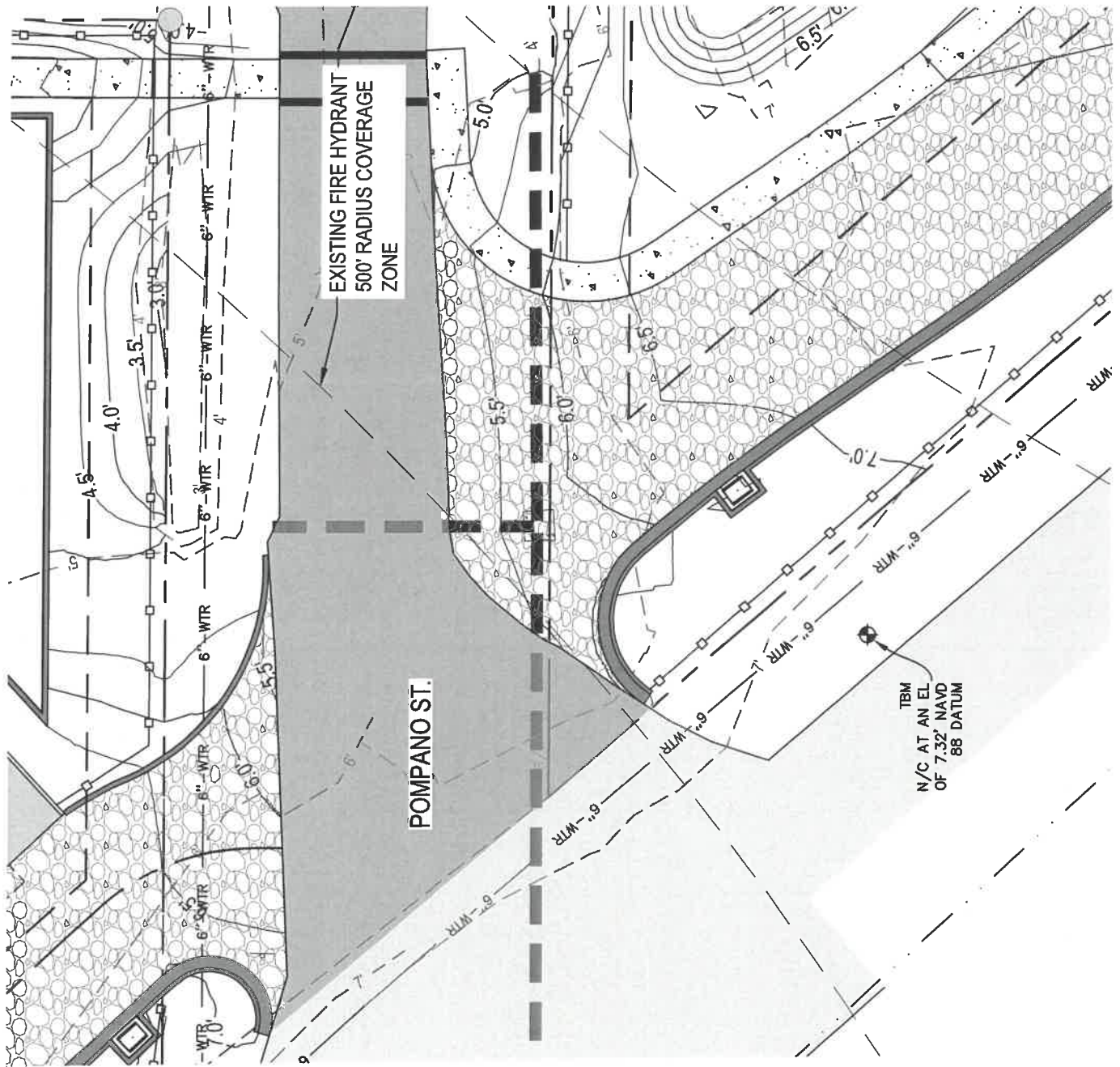


Scale: 1" = 20'

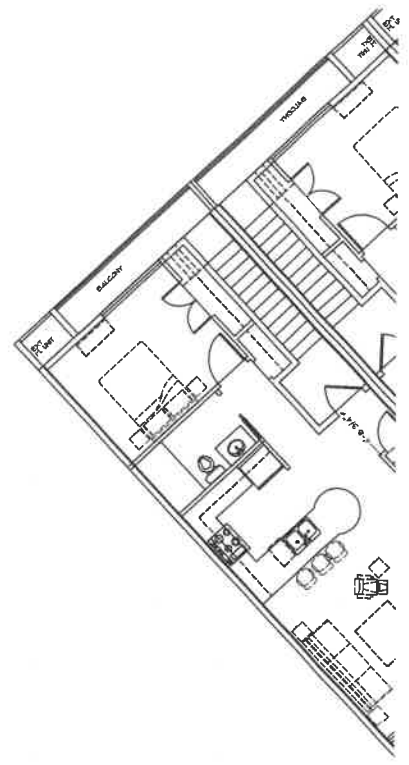


TM
N/C AT AN EL
OF 7.82' NAVD
85 DATUM





OVERLAPC



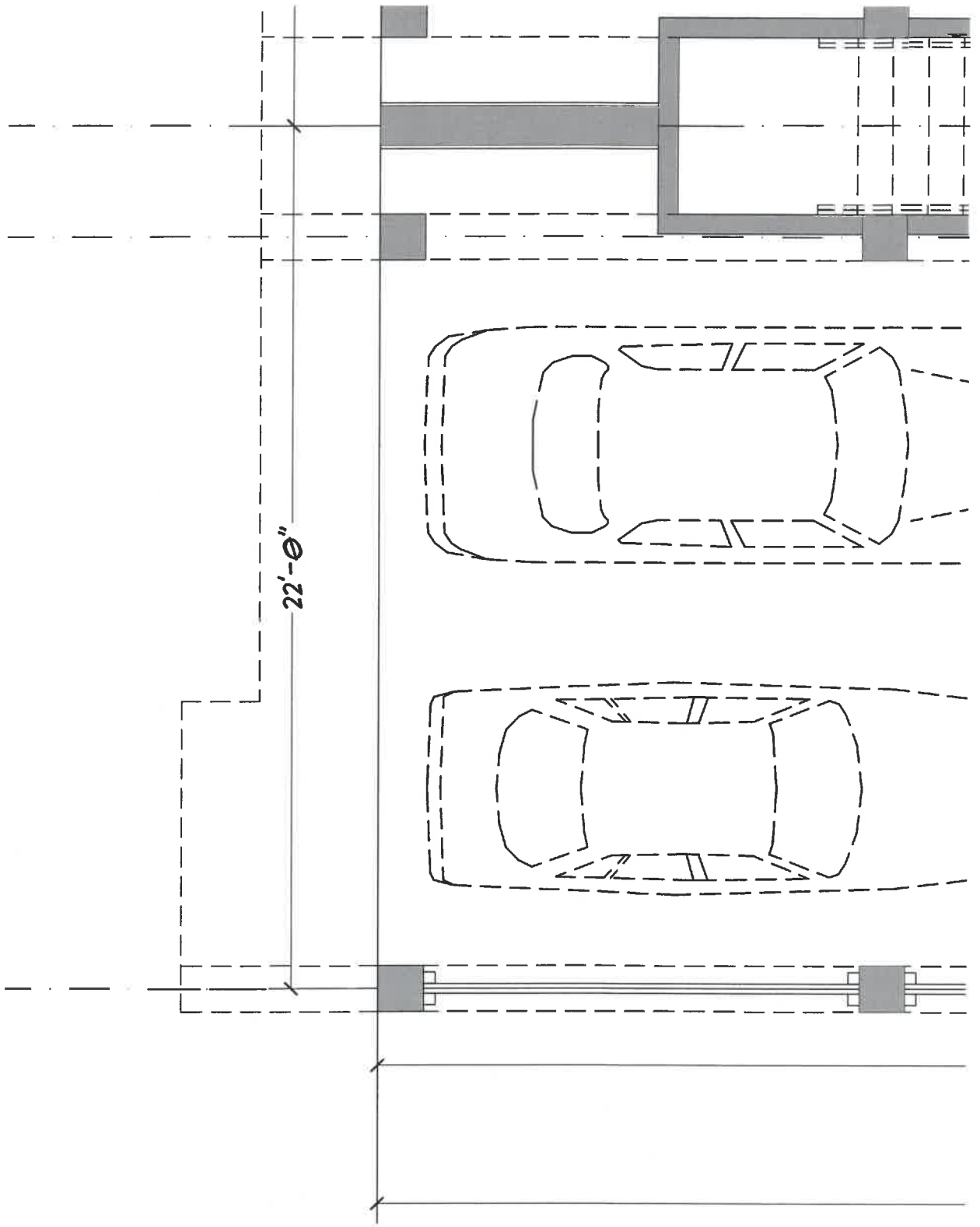
NOTE THIS SECTION CANTILEVERS OUT 24"

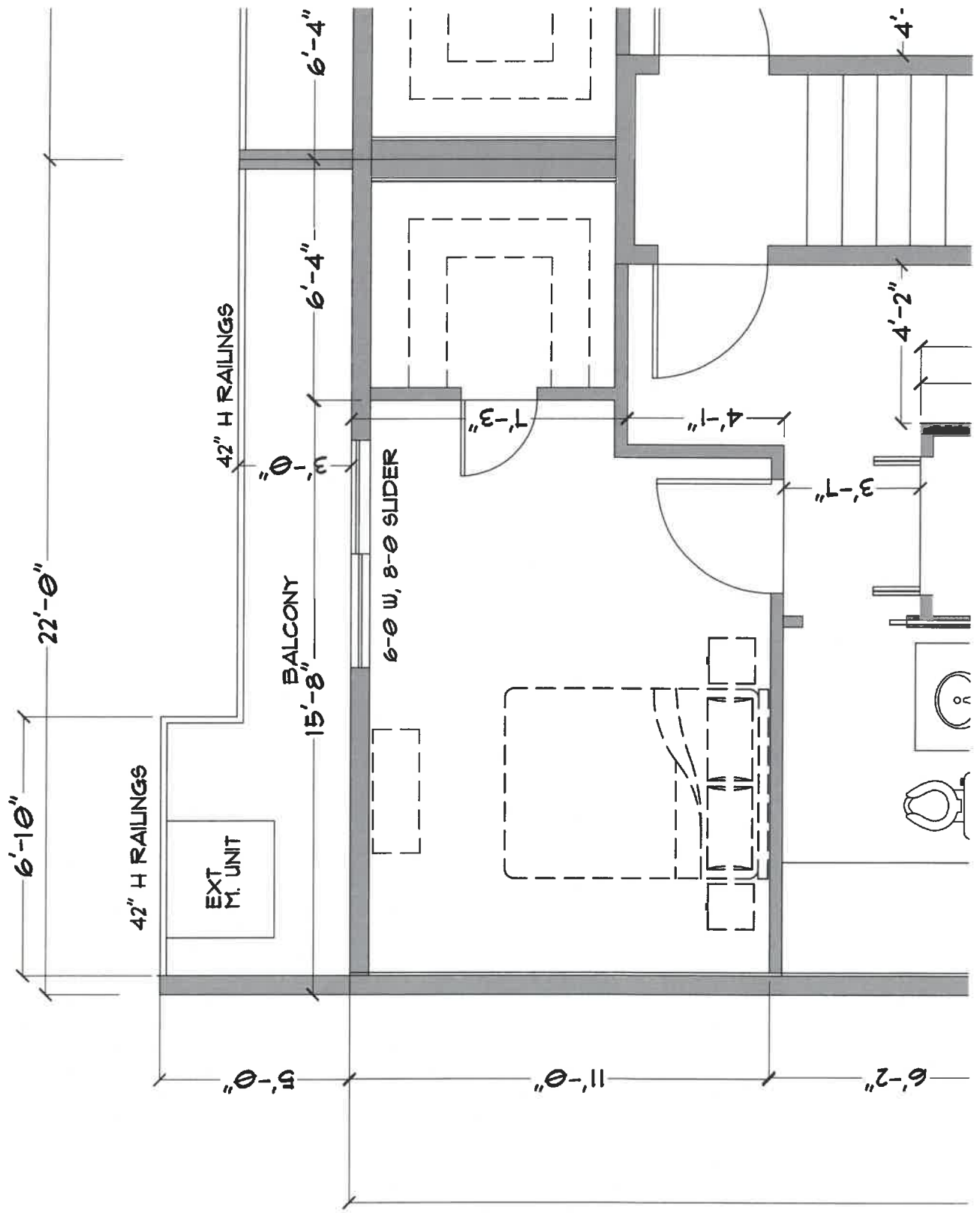


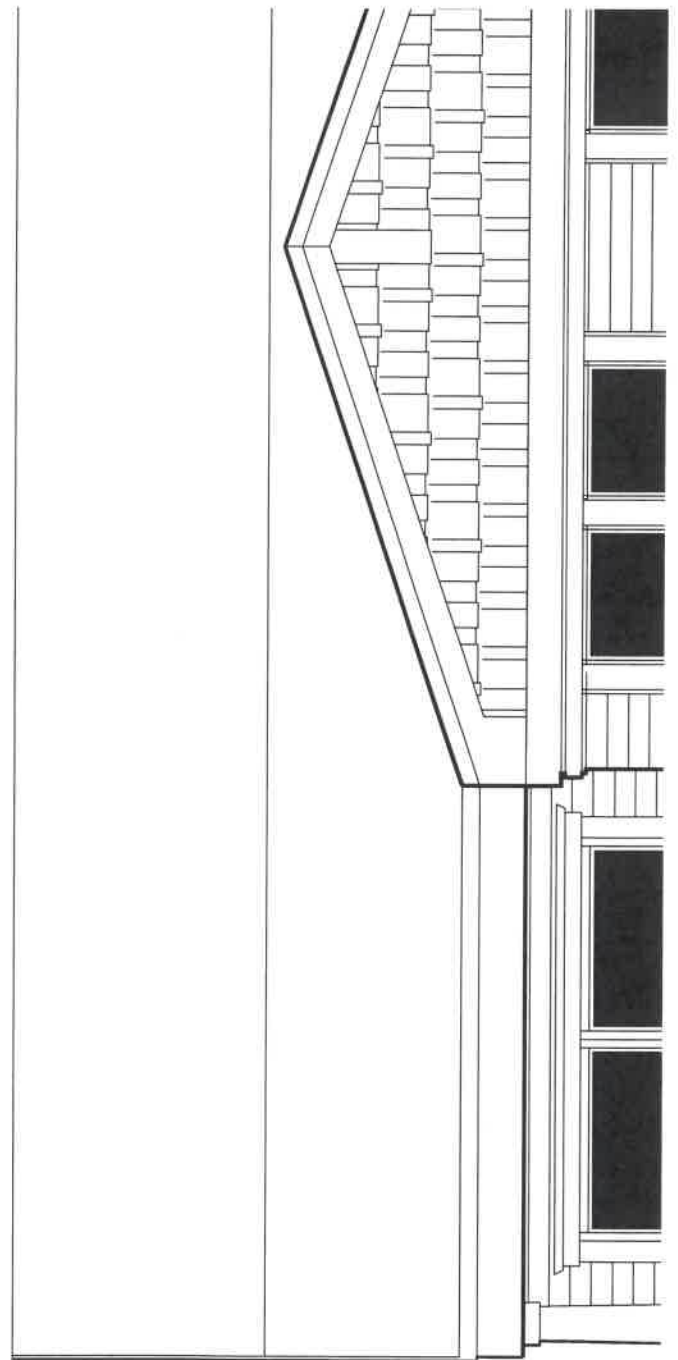
NOTE THIS SECTION CANTILEVER









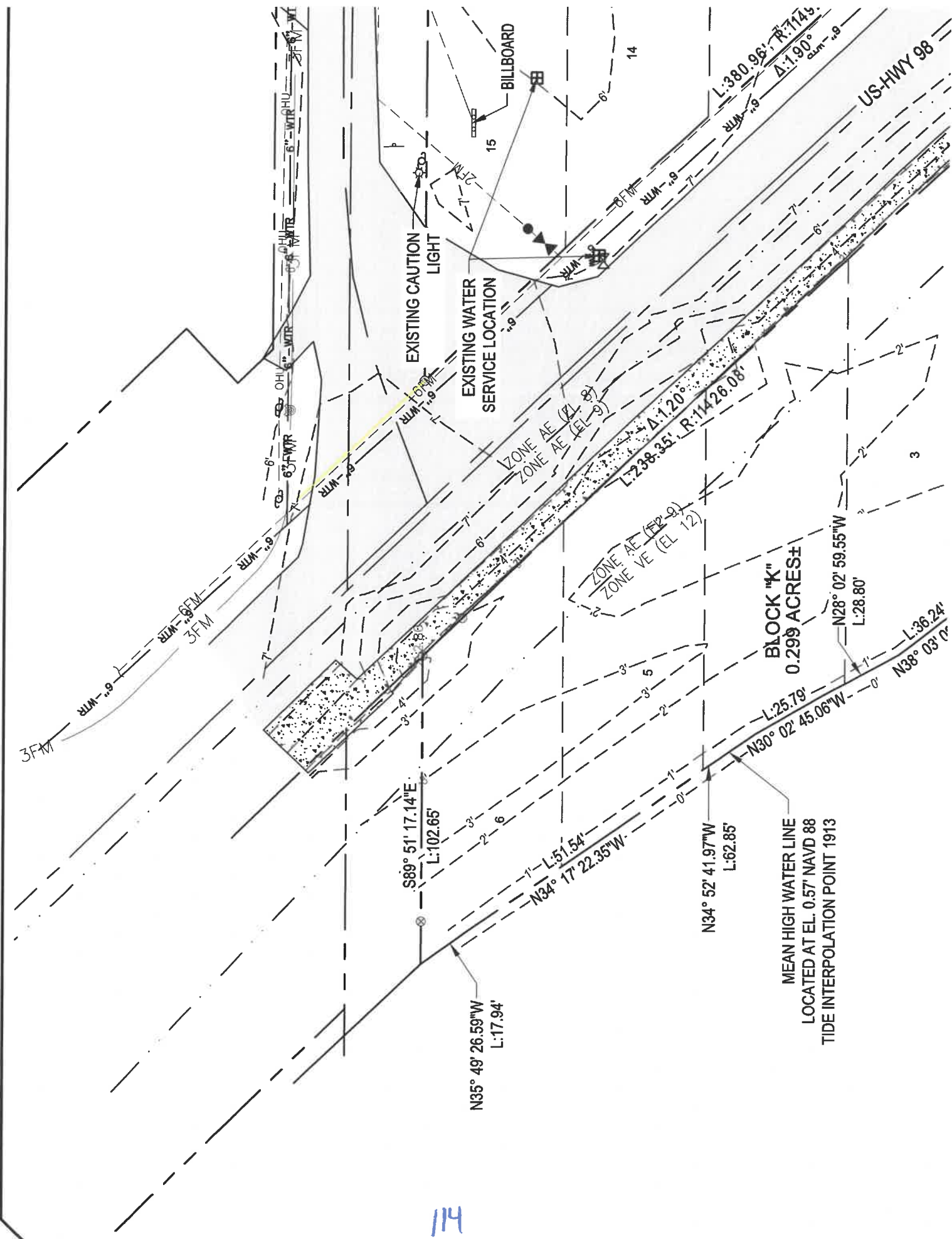


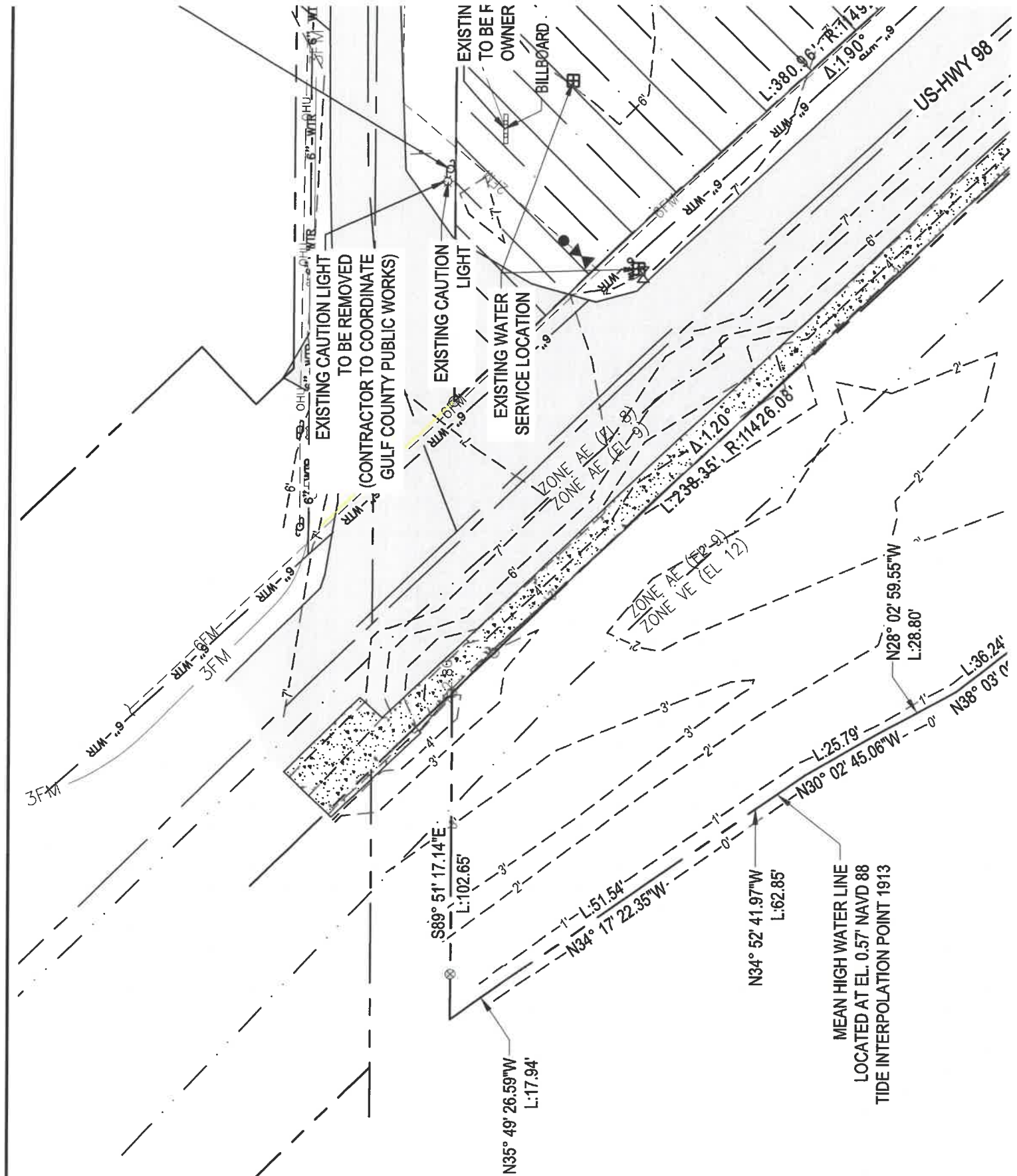
GENERAL NOTES

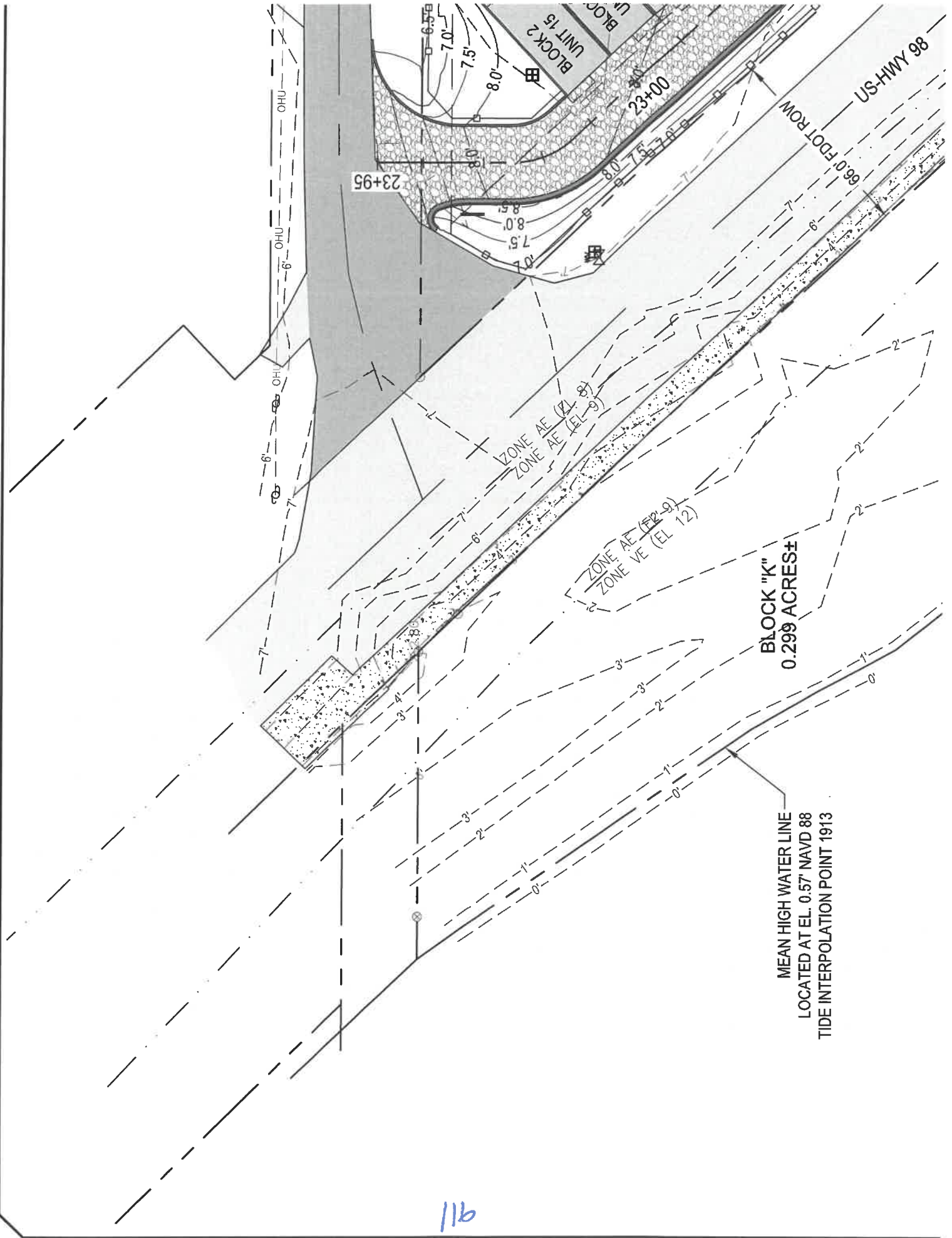
EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE LOCAL GOVERNING BODY OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
6. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
7. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
8. ALL UTILITY CONSTRUCTION SHALL MEET THE WATER AND WASTEWATER UTILITY STANDARDS OF THE UTILITY SERVICE PROVIDER IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
10. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S LAND DEVELOPMENT REGULATIONS.
11. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION
2. THE CONTRACTOR SHALL ADHERE TO THE LOCAL GO AUTHORITIES FOR EROSION AND SEDIMENT CONTROL THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION FROM THE "FLORIDA EROSION AND SEDIMENT CONTR
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS F SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STOR INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL AND UNTIL A PERMANENT GROUND COVER HAS BEEN
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AN EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVEN
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATI MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS RE
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQ HAY BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED A CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR I DISTURBED AREA BE LEFT UNPROTECTED FOR MORE
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TAF
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUA

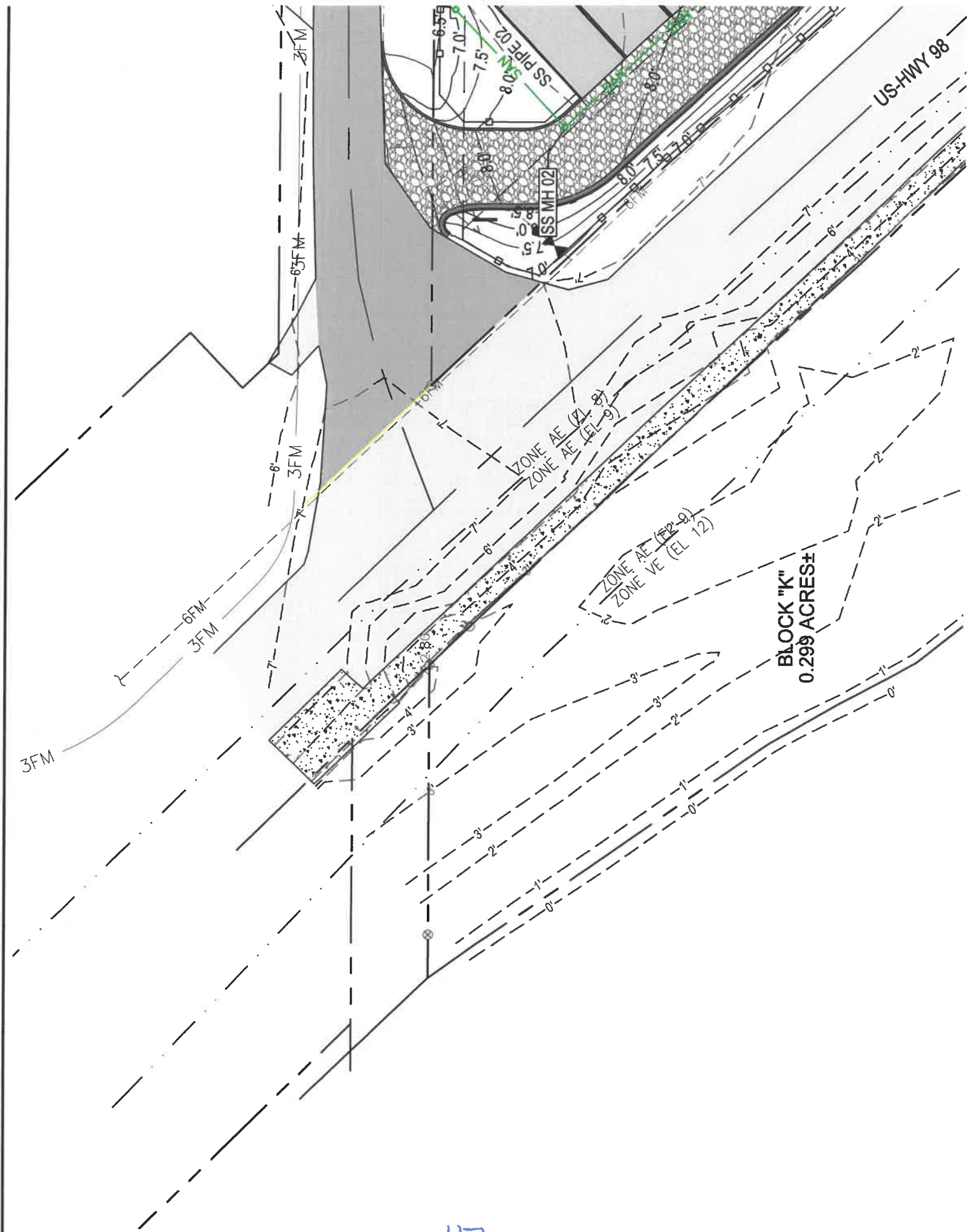


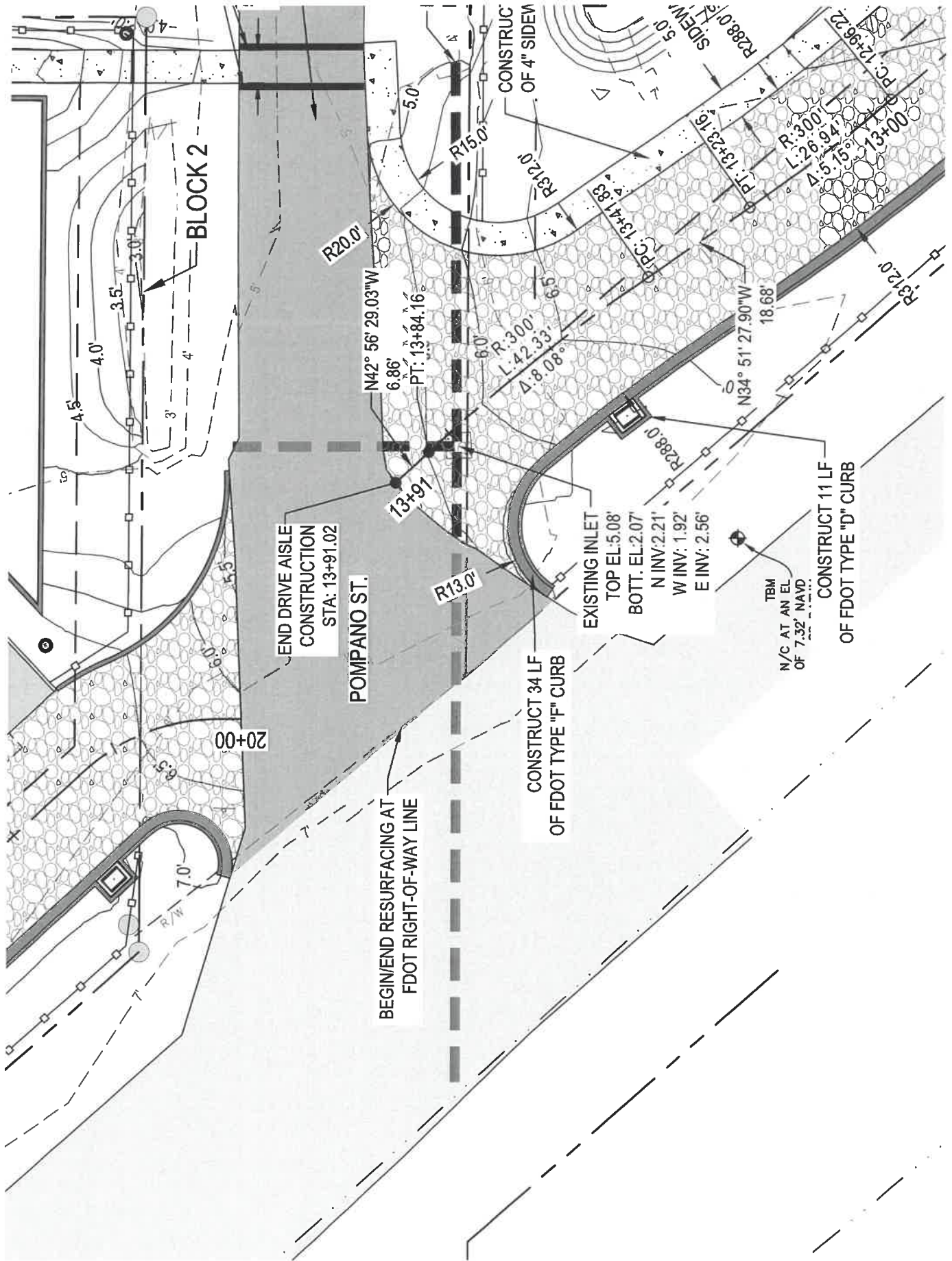




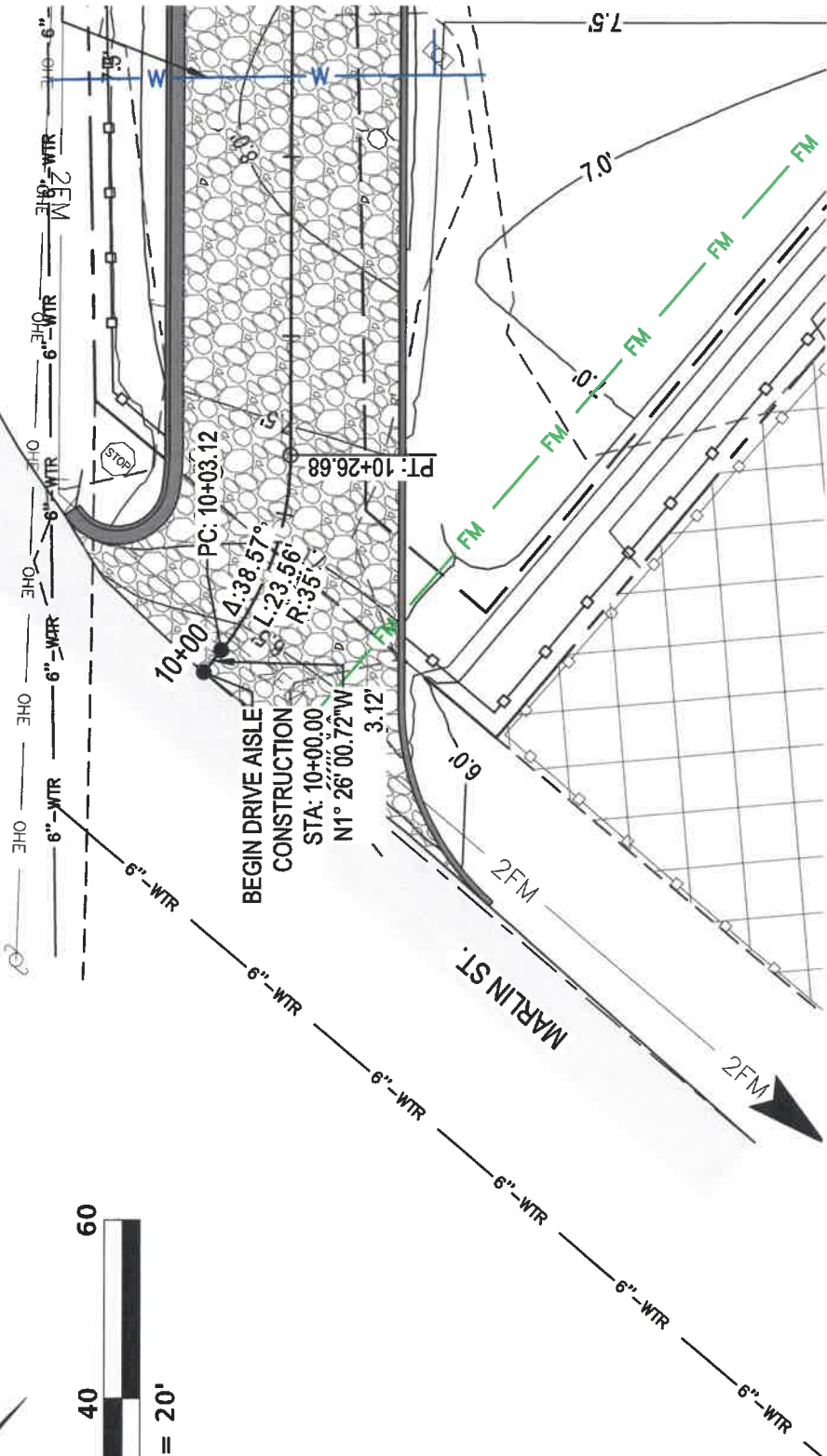
BLOCK "K"
0.299 ACRES±

MEAN HIGH WATER LINE
LOCATED AT EL. 0.57 NAVD 88
TIDE INTERPOLATION POINT 1913





N/C AT AN EL
OF 7.82' NAVD
88 DATUM



Scale: 1" = 20'

